

- GENERAL NOTES**
1. THIS/ THESE PLAN(S) IS/ ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
 2. THIS/ THESE PLAN(S) IS/ ARE NOT TO BE REPRODUCED OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LIMITED.
 3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND/ OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
 4. SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD., PLAN NUMBER 20-2617, DATED MARCH 23, 2020.
 5. THIS/ THESE PLAN(S) TO BE USED FOR SERVING AND GRADING ONLY, FOR BUILDING LOCATION REFER TO THE SITE PLAN.
 6. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
 7. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF BURLINGTON AND THE ENGINEER.
 8. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT ENVIRONMENTAL AGREEMENTS
 9. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 - i. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDING IN WRITING TO THE ENGINEER.
 - ii. OBTAIN ALL UTILITY LOCATES AND RELEVANT PERMITS AND LICENSES.
 - iii. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - iv. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT VERSION.
 - v. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
 10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO STOP CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER, THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
 11. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFIRMATION PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
 12. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
 13. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE MATCHED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
 14. SERVING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
 15. THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
 16. NO BLASTING WILL BE PERMITTED.

- SEWERS**
1. STORM SEWERS
 - A. CONSTRUCTION OF STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 - B. COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.0/0 OR 802.0/13.
 - C. PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
 - D. ALL SEWERS TO BE VIDEO INSPECTED.
 - E. ALL SEWERS TO BE FLUSHED PRIOR TO VIDEO INSPECTION.
 - F. STORM SEWERS 250mm to 600mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SDR-35.
 - G. PROPOSED PRIVATE REAR LOT CATCH BASINS (R/CBS) ARE TO BE AS PER OPSD 700.01. COMPLETE WITH BRIDGECRACK FRAME AND GRATE AS PER OPSD 400.120. REAR LOT CATCH BASINS ARE TO BE SUMPLESS.
 - H. ALL PVC SEWERS ARE TO BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AFTER INSTALLATION.
 2. STORM AND SANITARY PRIVATE DRAINS
 - A. CONSTRUCTION OF PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 - B. PRIVATE DRAINS TO BE 150mm PVC PIPE, CSA B182.1-1983, SDR 28 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
 - C. COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' INSTALLED AS PER OPSD 802.0/0 OR 802.0/13.
 - D. MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.
 - E. TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAIL.
 - F. TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAIL.
 - G. BUILDING DRAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE TO LANDSCAPED SURFACES VIA SPLASH PADS.
 - H. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEEPING TILES TO THE STORM PRIVATE DRAINS. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN. SEE DETAIL 3.
 - I. IF THE APPLICANT/OWNER INTENDS TO REUSE A PORTION OF A SITE'S EXISTING SEWER SYSTEM, IT IS THEIR RESPONSIBILITY TO ENSURE THAT THE SEWER IS OF ADEQUATE CAPACITY, MEETS ALL APPLICABLE BY-LAW REQUIREMENTS, AND IS IN GOOD WORKING ORDER. SEWERS TO BE REUSED MUST BE VIDEO INSPECTED, WHILE THE CITY/TOWN SEWER INSPECTOR IS PRESENT. THE APPLICANT/OWNER IS RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THEIR PRIVATE VIDEO INSPECTION CONTRACTOR ALONG WITH PAYMENT OF AN INSPECTION FEE.

- GRADING NOTES**
1. GENERAL GRADING
 - A. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOOED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
 - B. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC. SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.N.D.
 - C. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
 - D. RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 - E. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN.) ABOVE FINISHED GRADE.
 - F. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 - G. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 - H. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 - I. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
 - J. ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
 - K. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
 - L. SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPILT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33.0% GRADE (3:1 SLOPE).
 - M. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED, PROVIDED A 150mm² SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND GRANDED TO A SUITABLE OUTLET WITH A MINIMUM 0.3m COVER OVER THE SUBDRAIN, OR OTHER MITIGATION MEASURES.
 - N. MINIMUM GRADE FOR WALK-AROUND GRADE IN BACKYARDS SHALL BE 1.0%.
 - O. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED IN A STRAIGHT LINE.
 - P. GARAGE FLOOR ELEVATIONS TO BE SET 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 - Q. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 98% S.F.D. (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 300mm.
 2. BACKYARD GRADING
 - A. DEFINITION: "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE:
 - B. DISTANCE REGULATED BY THE ZONING BY-LAW OR 6.0m.
 - C. THE MAXIMUM 5.0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALES DOES NOT EXCEED 1.0m ON EACH LOT.
 - D. WHERE THE 5.0% RESTRICTION ON BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. 3:1 SLOPES CAN REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 - E. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 - F. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS, AND BACK YARDS, OUTSIDE THE AREAS DEFINED IN ITEM "A" ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (3:1 MAXIMUM).

- COMPACTION REQUIREMENTS**
- UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:
- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 98% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 - ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
 - FOR ALL SEWERS AND WATERMANS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.
- SILTATION AND EROSION CONTROL**
- SILTATION CONTROL BARRIERS SHALL BE OBTAINED AS DETAIL.
 - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
 - ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

- CONSTRUCTION AND EROSION CONTROL**
- SILTATION CONTROL BARRIERS SHALL BE OBTAINED AS DETAIL.
 - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
 - ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

Municipal Address	935 HARVEY PLACE, BURLINGTON		
Legal Description	LOT 12 & PART OF LOTS 13 & 14, REGISTERED PLAN 839 City of Burlington, Regional Municipality of Halton		
ZONING REGULATIONS	R2.1	PROPOSED	COMPLIANCE (Y/N)
Site Date			
Lot Frontage	n/a	19.81 m	Existing
Lot Depth	n/a	38.10 m	Existing
Lot Area	700 m ²	741.69 m ²	Existing
Lot Width	18.0 m	19.81 m	Existing
Driveway/Parking			
Total Parking	2 Spaces	2 Spaces	Yes
Driveway Length	6.0 m min	12.48 m	Yes
Building Size			
Building Area	n/a	217.20 m ²	Yes
Lot Coverage	25.0%	29.3%	No*
Floor Area Ratio	0.45:1 max	0.53:1	No*
Building Height	10 m	11.10 m	No*
		2 Stories	Yes
Yards & Setbacks			
(Front Yard)(South)	11.0 m	12.48 m	Yes
(Side Yard)(West)	1.98 m	2.31 m	Yes
(Side Yard)(East)	1.98 m	1.00 m	No*
(Side Yard)(North)	10.0 m	10.89 m	Yes
Side Yard Eave & Gutter Encroachment(West)	0.50 m Overhang on Encroachment(House Roof)	0.18 m(Overhang)	Yes
Side Yard Eave & Gutter Encroachment(East)	0.50 m Overhang on Encroachment(House Roof)	0.18 m(Overhang)	Yes
Front Yard Eave & Gutter Encroachment(South)	0.50 m Overhang on Encroachment(House Roof)	0.05 m(Overhang)	Yes

* APPLYING FOR MINOR VARIANCE WITH THE CITY OF BURLINGTON'S COMMITTEE OF ADJUSTMENTS.

Tree Protection and Preservation Specification No: SS12A

Detail TP-1 - Tree Protection Detail

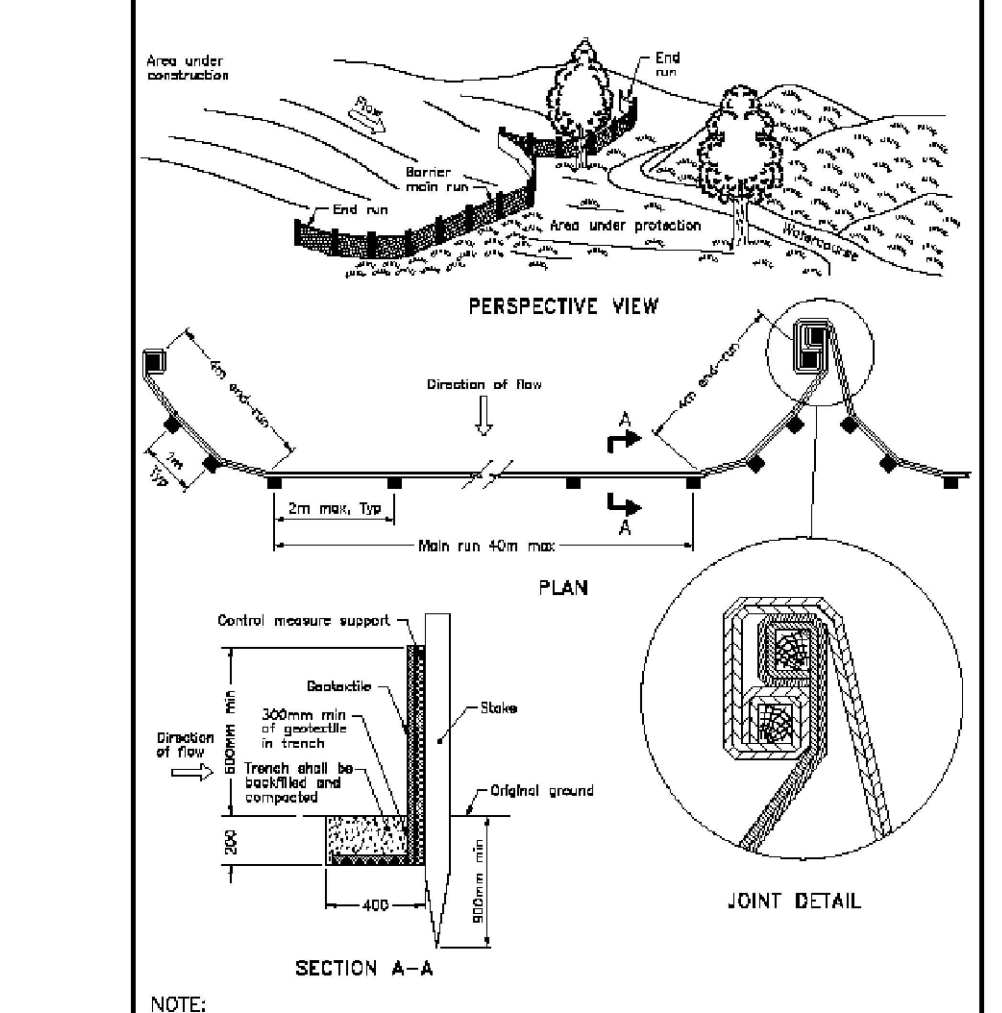
Trunk Diameter (DBH) (mm)	Minimum Tree Protection Zone (TPZ) (m)	Critical Root Zone (CRZ) Distance (m)
< 100	1.8	1.8
11 - 40	2.4	2.4
41 - 50	3.0	3.0
51 - 60	3.6	3.6
61 - 70	4.2	4.2
71 - 80	4.8	4.8
81 - 90	5.4	5.4
91 - 100	6.0	6.0

NOTES

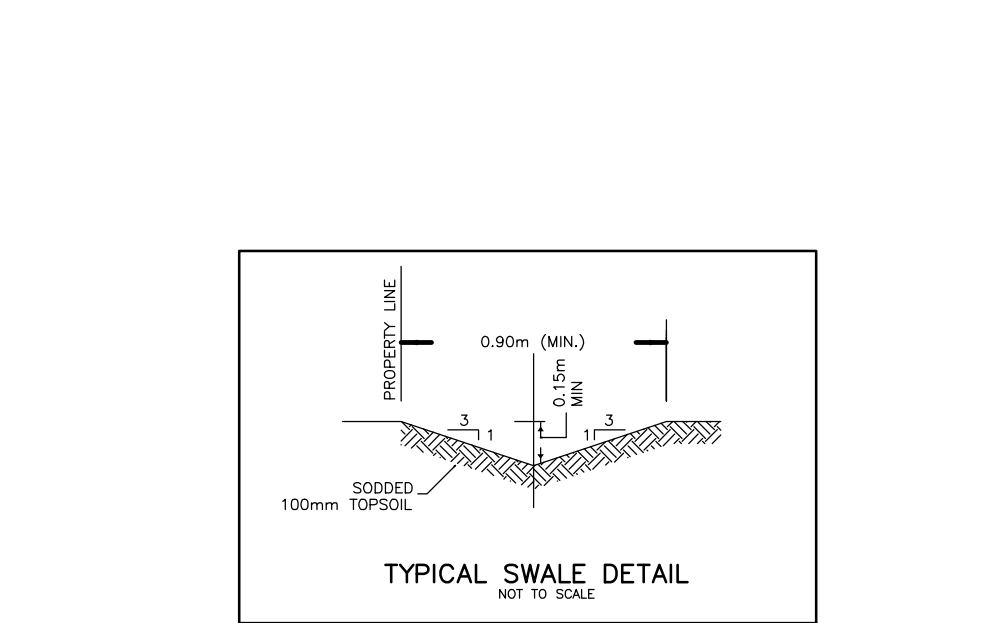
- The roots of a tree can extend from the trunk to approximately 2.0 times the diameter of the stem line (Diameter or breast height (DBH)) in the measurement of tree trunk when at 1.4 metres above ground.
- Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree base towards the drop line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.
- When work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 9 of this specification.

- TREE PROTECTION BARRIER**
- The required barrier is a 1.2 metre (4 ft) high strength plastic web snow fencing on 2" x 4" frame. Where storage plastic web snow fencing creates a restriction to sightlines, pipe with reflective tape can be used.
 - Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The barriers shall be maintained erect and in good repair throughout the duration of construction with breaks and unsupported sections repaired immediately. Tree protection may be not be removed prior to the completion of construction without written authorization from the Manager of Urban Forestry or designate.
 - All supports and bracing used to safely secure the barrier should be located outside the MTPZ. All supporting bracing should be removed prior to work.
 - Where some fill or excavated material must be temporarily stored near a MTPZ, a wooden barrier with tall bracing must be used to ensure no material enters the MTPZ.
 - No materials or debris shall be stored within the MTPZ.
 - Equipment or vehicles shall not be operated, parked, stored, or refueled within the MTPZ.
 - No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the MTPZ without written authorization from the Manager of Urban Forestry or designate.
 - A laminated Minimum Tree Protection Zone sign (See Detail TP-3) - Minimum Tree Protection Zone Sign must be attached to the side of the Tree Protection barrier at a point visible by persons entering the site. Minimum sign size be 150x150".

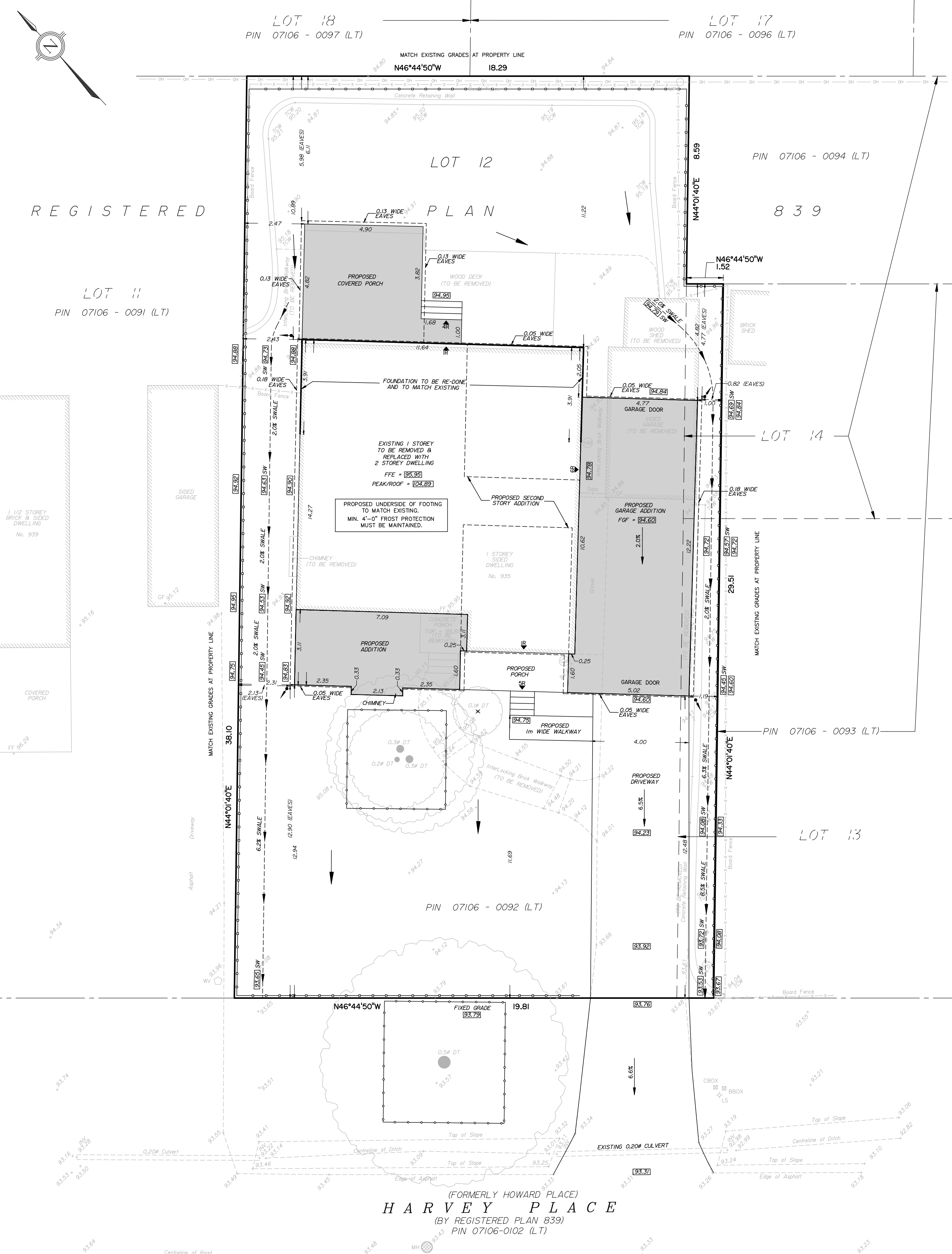
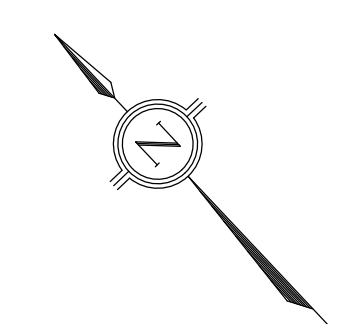
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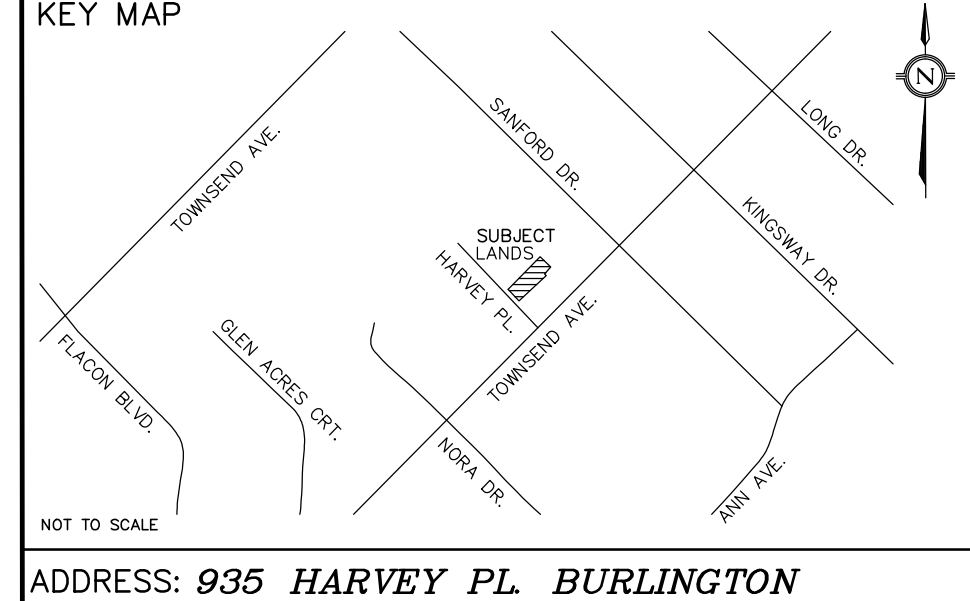
HEAVY-DUTY SILT FENCE BARRIER
OPSD 219.130



The existing sanitary lateral must be inspected at the property line by the Regional Inspector, and televised by Region of forces PRIOR to connection. A lateral that does not meet current Regional standards must be disconnected at the main. A revision to the Service Permit, drawings and payment on applicable fees is required.



REGIONAL APPROVAL
REGIONAL DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARD SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.
SIGNED: _____ DATED: _____
INFRASTRUCTURE PLANNING & POLICY
The approval of the water system on private property is the responsibility of the Local Municipality. regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met (the water and wastewater sewer design manual made available on Halton.co or by calling 311) of water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.



NOT TO SCALE
ADDRESS: 935 HARVEY PL. BURLINGTON

SITE AND GRADING PLAN
LOT 12 & PART OF LOTS 13 & 14
REGISTERED PLAN 839
IN THE CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON

BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE
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METRIC
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

DT	DENOTES DECIDUOUS TREE
CT	DENOTES CONIFEROUS TREE
---	DENOTES SUBJECT LANDS BOUNDARY
---	DENOTES DEED LINE
---	DENOTES LOT LINE
---	DENOTES FENCE LINE
N-E-S-W	DENOTES NORTH-EAST-SOUTH-WEST
100.00	DENOTES EXISTING ELEVATION
---	DENOTES PROPOSED ELEVATION
---	DENOTES PROPOSED SILT FENCE
---	DENOTES PROPOSED TREE PROTECTION
---	DENOTES DOWN SPOUT WITH SPLASH PAD

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928/1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 001196303488 HAVING AN ELEVATION OF 98.754 m.

NO.	DATE	BY	REVISIONS
1	02/12/2021	JMH	AS PER CITY COMMENTS
0	01/21/2021	JMH	ISSUED FOR REVIEW

DESIGN	JMH	CHK'D	EWA	DATE	FEBRUARY 12, 2021
DRAWN	JMH	CHK'D	EWA		

Scale 1:100

APPROVALS

STAMP

LICENCED PROFESSIONAL ENGINEER
M. FATH
10006843
FEB. 12, 2021
PROVINCE OF ONTARIO

Barich Grenkie Surveying Ltd.
297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON
(905) 662-6767
A DIVISION OF GEOMAPLE

DWN BY: JMH
CHK BY: EWA
JOB No. 20-2617

CLIENT: JENNIFER SMITH

PROJECT NAME: PROPOSED GARAGE ADDITION SECOND STOREY ADDITION & DECK 935 HARVEY PLACE, BURLINGTON

TITLE: SITE & GRADING PLAN

PROJECT No. 20-2617 DRAWING No. 20-2617 SGP

COMMITTEE OF ADJUSTMENT

MEETING #7

AGENDA

APRIL 28, 2021

HEARING NO. 3 - 5:30 P.M.

File**540-02-A-033/20**

APPLICANT: Maurice Richard Desrochers

PROPERTY: 548 Burlington Avenue
PLAN 117 PT LOTS 68, 69 RP 20R20311 PART 1
City of Burlington - Regional Municipality of Halton

VARIANCES: The applicant is proposing the construction of a two-storey detached dwelling.

1. To permit a front yard setback abutting Burlington Avenue of 5.4 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling with attached garage including bay windows.
2. To permit a front yard setback abutting Burlington Avenue of 4.5 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including overhangs and stairs.
3. To permit a rear yard setback of 1.8 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage.
4. To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage.
5. To permit a street side yard setback abutting Caroline Street of 2.8 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage including window wells.
6. To permit a street side yard setback abutting Caroline Street of 3.5 m instead of the minimum required 3.85 m (4.5 m – 0.65 m encroachment) for a proposed roofed over porch including roof overhang and stairs.
7. To permit a street side yard setback abutting Caroline Street of 3.9 m instead of the minimum required 4.5 m for a proposed second storey balcony/terrace.
8. To permit lot coverage of 39.2% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.

COMMITTEE OF ADJUSTMENT

MEETING #7

AGENDA

APRIL 28, 2021

9. To permit floor area ratio of 0.67:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.

**STAFF REPORTS:****PLANNING AND BUILDING DEPARTMENT COMMENTS****Committee of Adjustment**

There are two previous minor variance applications on record for this property.
There is one previous land division application on record for this property.

File No. B-015/15 – Approved

- Severance of existing lot to create 2 new lots resulting in total of 3 lots

File No.A-056/15 Building C – Approved

1. To permit a lot area of 379.0 sq m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot area of 425.0 sq m to facilitate a proposed land severance.

COMMITTEE OF ADJUSTMENT

MEETING #7

AGENDA

APRIL 28, 2021

File No. A-156/2016 – Lapsed – the application was approved but the conditions were not met within 2 years.

1. To permit a front yard setback abutting Burlington Avenue of 5.4 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling including bay windows.
2. To permit a front yard setback abutting Burlington Avenue of 4.6 m instead of the minimum required 5.35 m (6.0 m - .65 m = 5.35 m) for a proposed roofed over porch including overhangs and stairs.
3. To permit a rear yard setback of 1.8 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling.
4. To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling.
5. To permit a street side yard setback abutting Caroline Street of 3.9 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling.
6. To permit a street side yard setback abutting Caroline Street of 3.2 m instead of the minimum required 3.85 m (4.5 m - .65 m = 3.85 m) for a proposed roofed over porch including roof overhangs and stairs.
7. To permit a street side yard setback abutting Caroline Street of 4.0 m instead of the minimum required 4.5 m for a proposed second storey balcony/terrace.
8. To permit lot coverage of 39.50% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
9. To permit a north side yard encroachment of 0.55 m instead of the maximum permitted projection of 0.50 m from the wall of the building for proposed overhangs.

Date: November 24, 2020Prepared By: Shawna Houser CPT

Zoning

The subject property is zoned DRL, Downtown Residential Low Density Zone, and is in a designated area for lot coverage, under Zoning By-Law 2020, as amended. The DRL zone permits a detached dwelling subject to R3.2 zone regulations. The R3.2 zone requires, among other things, the following:

4. R1, R2, R3 ZONE REGULATIONS

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R3 ZONES						
R3.2	15 m	425 m ²	6 m	9 m (c)	(b)	4.5 m

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Footnotes to Table 2.4.1

- b) With attached garage or carport:
- (i) One or one and a half storey side: 1.2 m
 - (ii) Two or more storey side: 1.8 m
- c) On a corner lot the rear yard may be **4.5 m**.

2.13 ENCROACHMENT INTO YARDS

2.13.1 Every part of a required yard shall be unobstructed with respect to the following encroachments:

- (a) The following obstructions may project 65 cm maximum into a required yard:

A roofed-over or screened but otherwise unenclosed 1-storey porch

4.2 LOT COVERAGE**Table 2.4.3**

Dwelling Type	Dwelling with Attached Garage	Dwelling without Attached Garage
All Dwellings in Designated Areas (b) (c)	25% for all other dwelling types including accessory buildings	17% for all other dwelling types plus 8% for accessory buildings

Footnotes to Table 2.4.3

- (c) One accessory building less than 10 m² and less than 2.5 m in height shall be exempt from the lot coverage requirements of Table 2.4.3.
- (d) Designated Areas are shaded on ZONING MAPS in Part 15.

4.5 FLOOR AREA RATIO

- (a) A maximum floor area ratio of **0.45:1** shall apply to all properties in Designated Areas for Lot Coverage.

Floor Area Ratio – Low Density Residential

The mathematical relationship between the floor area of a dwelling and its lot area determined by dividing the floor area of a building (including attached garage and stair case) by the net area of that lot.

The applicant is proposing the construction of a two storey detached dwelling. The following variances are required to facilitate the proposed development.

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Variances required:

1. To permit a front yard setback abutting Burlington Avenue of 5.4 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling with attached garage including bay windows.
2. To permit a front yard setback abutting Burlington Avenue of 4.5 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including overhangs and stairs.
3. To permit a rear yard setback of 1.8 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage.
4. To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage.
5. To permit a street side yard setback abutting Caroline Street of 2.8 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage including window wells.
6. To permit a street side yard setback abutting Caroline Street of 3.5 m instead of the minimum required 3.85 m (4.5 m – 0.65 m encroachment) for a proposed roofed over porch including roof overhang and stairs.
7. To permit a street side yard setback abutting Caroline Street of 3.9 m instead of the minimum required 4.5 m for a proposed second storey balcony/terrace.
8. To permit lot coverage of 39.2% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
9. To permit floor area ratio of 0.67:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.

Conditions:

1. A consolidated pre-building permit application is required.

Notes:

1. Land severance approved under file 545-02-B15/015/B.
2. Demolition permit issued on July 23, 2019 under file 19/013766.
3. Variance approved under file 540-02-A56/15 to permit a lot area of 379 m² to facilitate the proposed lane severance.
4. Variances approved under file 540-02-A156/16 lapsed.
5. Second storey balcony is not located in the side and rear yard. It's not located between the rear lot line and the nearest wall of the building and therefore does not project into the yard.
6. The variances identified are based on the plans provided. Any changes to the plans resulting in additional variances will be the responsibility of the applicant to obtain.

Date: November 6, 2020Prepared By: Tina Vassalli

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Site Planning

The subject property is located on the northwest corner of the Burlington Avenue and Caroline Street intersection, north of Ontario Street and west of Brant Street within the St. Luke's Precinct. The site is currently vacant. The applicant is proposing to construct a new two-storey detached dwelling, with an attached garage and front covered porch. In order to facilitate the proposed development, variances are being requested for setbacks, lot coverage and floor area ratio.

Staff notes in 2016, a consent application with variances was considered by the Committee of Adjustment under file number B-015/15. The consent and variance related to lot area was approved. In 2017, variances were considered by the Committee under file number A-056/15 related to house construction. The variances were approved, however their approval lapsed as a result of the applicant not obtaining a Building Permit within the specified timeline of 2 years from the end of the approval appear period. Staff notes that the consent approval did not lapse, and therefore the variance for a lot area of 379 sq m is permitted for the subject property. As a result of the lapsing of the variance related to house construction, the applicant has resubmitted a minor variance application to reinstate those approvals. Staff notes that the previous minor variance application was received in November 2016 and therefore reviewed against a set of zoning regulations that have since that been replaced with new zoning regulations approved by Council to better manage residential infill development. The subject application is being reviewed against the currently applicable regulations contained within Zoning By-Law 2020, as amended. The currently applicable regulations became in effect on December 19, 2016. Staff opinion on the subject variances is based only on applicable regulations.

1) Official Plan Designation:

Does the proposed minor variance from the Zoning By-law maintain the general intent and purpose of the Official Plan?

No

The subject property is designated 'Mixed Use Centre – St. Luke's Neighbourhood Precinct' within the City's Official Plan. The Official Plan requires new development to be compatible with its surroundings. Within the St. Luke's Neighbourhood Precinct, special consideration is given to the compatibility of buildings in terms of height, setbacks, massing, design, and community features.

Downtown Mixed-Use Centre

The subject property is located within the Downtown Mixed-Use Centre. Part III Section 5.5, Subsection 5.5.1 Principles states the following:

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-
- a) As a Mixed-Use Centre, the Downtown shall take advantage of the unique qualities that set it apart from all other areas of the City and contribute to a distinct identity. These qualities include the waterfront location and related activities, historic buildings, streetscapes and development pattern, cultural activities, pedestrian orientation, and recognition as a centre of business and civic activity.

Section 5.5.4 The St. Luke's and Emerald Neighbourhood Precincts include the following:

- a) To preserve the stable residential and heritage character of these neighbourhoods, and to ensure that any redevelopment is compatible with the existing character of the neighbourhoods.
- d) All development and redevelopment shall be compatible with the existing character of these neighborhoods with respect to such matters as heights, setbacks, massing, design and community features.

The Official Plan also requires new development to be compatible with the surrounding area. Part II, Section 6.5 a) of the Official Plan states that *"The density, form, bulk, height, setbacks, spacing and materials of development are to be compatible with its surrounding area."*

The Official Plan policies are implemented via specific zoning regulations, which staff must consider as part of the assessment of Official Plan policies. The proposed development introduces a building form that does not achieve the enhanced level of

compatibility with the surrounding neighbourhood context, as expressed by the Official Plan and defined by zoning regulations. St. Luke's Precinct, and more specifically the area immediately surrounding the subject property, is characterized primarily by mature one- to two-storey dwellings and some redeveloped two-storey dwellings, with open, green yards and ample vegetation. The proposed reductions to the setbacks is deemed to negatively impact the established arrangement of house setbacks and lot spacing. The reduced setbacks and increased built form (lot coverage and floor area ratio) pose negative impacts of massing and overdevelopment to the surrounding area, in contrast to the current development standards for this area.

Given the above, staff is of the opinion that the requested variances do not maintain the general intent and purpose of the City's Official Plan.

2) Zoning By-law Designation:

Does the proposed minor variance from the Zoning By-law maintain the general intent and purpose of the Zoning By-law?

No

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The subject property is zoned DRL, Downtown Residential Low-Density, under the City's Zoning By-Law 2020, as amended. The DRL zone permits a single detached dwelling subject to the R3.2, Low-Density Residential, regulations, as per Table 6.2.2, footnote c under the Zoning By-Law. The applicant is requesting several variances related to setbacks, lot coverage and floor area ratio.

The site is located in an established neighbourhood/designated lot coverage area. Established neighbourhoods utilize enhanced zoning regulations (such as Floor Area Ratio limits, house depth etc) which were approved by Council in December 2016 to better manage the introduction of new development within existing neighbourhoods. These enhanced regulation better reflected Council's expectations related to development and better defined the policies contained with the Official Plan. It is important for planning staff to ensure that new development does not pose negative impacts of overbuilding or inappropriate massing within these neighbourhoods and to ensure that new development maximizes compatibility with existing development in the area.

These enhanced regulations also prevent the overbuilding of lots and the inappropriate relationship between spacing and mass that can often result. Lot coverage regulations ensure there is adequate open space around a structure to provide the desired balance between built form and landscape features. Similarly, the intent of setback regulations is to ensure that there is an appropriate and consistent separation between dwellings, to promote streetscape compatibility, and to mitigate adverse effects of massing to the surrounding streetscape and adjacent properties. Together, these enhanced regulations better define Council's expectations regarding development in this area.

The proposed development is in conflict with the updated zoning regulations that guide new development within established neighbourhoods, and also conflicts with Council expectations as expressed in the 2016 package of enhanced zoning regulations for low density residential development.

Staff is of the opinion that the proposed development has not taken current zoning requirements into account and therefore poses massing, building siting, setbacks and spacing that are no longer anticipated under the site zoning. As a result, the development includes reduced setbacks, increased floor area ratio and coverage which pose negative impacts of massing and overdevelopment to the surrounding streetscape and adjacent properties. The structure has not been designed in consideration of currently applicable zoning regulations. Staff is of the opinion that the requested variances do not maintain the general intent and purpose of the City's Zoning By-Law.

3) Desirability:

Is the proposed minor variance from the Zoning By-law desirable for the appropriate development or use of the land, building or structure?

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No

Staff is of the opinion that the requested variances do not facilitate development that is deemed compatible with the surrounding streetscape or maintain Council's expectations around new development in established neighbourhoods. The requested variances do not promote compatible setbacks or spacing within the St. Luke's Precinct and pose negative impacts of massing and overbuilding when assessed against applicable zoning regulations. As such, staff is of the opinion that the requested variances are not considered desirable. Staff encourage the applicant to consider these comments and revise the proposed development to better reflect the intent of the City's Official Plan and Zoning By-Law.

4) Minor in Nature:

Is the proposed minor variance from the Zoning By-law considered minor in nature?

No

Staff is of the opinion that the requested variances are not considered minor in nature as the proposed development exceeds the Zoning By-law and Council's expectations around new-development in established neighbourhoods. The variances foster development that is considered to be inconsistent with the Zoning By-law expectations around building size, siting, massing and site spacing.

Cumulative Effects of Multiple Variances and Other Planning Matters:

Staff is of the opinion that the requested variances would pose a cumulative negative impact from the overall proposed development.

Recommendation:

Staff has reviewed the requested variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and objects to the variances requested.

Date: February 17, 2021Prepared By: Taylor MacDonald-Plummer**Site Engineering**

This is a corner lot with Caroline St. Burlington Ave is equal to or greater than deemed road width (20m). No road widening required. Caroline St. actual road width is 18.83 but since a road widening of 1.16 was previously conveyed, no road widening required.

Date: June 12, 2020Prepared By: A. Capone

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Site Engineering has reviewed the proposed minor variances and has no objection. A Grading and Drainage Certificate will be required prior to Building Permit.

Date: November 30, 2020 Prepared By: A. Capone

Building

1. A Building Permit is required for all building construction.
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2012.

Date: December 16, 2020 Prepared By: Kathy Pavlou

Transportation Planning

Transportation Services has no concerns with this Minor Variance Application.

Date: November 25, 2020 Prepared By: Trevor Clark

Finance**Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be

amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: Nov 25, 2020 Prepared By: L. Bray

NOTICE OF PUBLIC HEARING

Maurice Desrochers, the owner of 548 Burlington Ave. has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **548 Burlington Ave. Burlington** (see map).

The applicant proposes to construct a two storey detached dwelling. This proposal results in the following variances:

1. To permit a front yard setback abutting Burlington Avenue of 5.4 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling with attached garage including bay windows.
2. To permit a front yard setback abutting Burlington Avenue of 4.5 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including overhangs and stairs.
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7. To permit a street side yard setback abutting Caroline Street of 3.9 m instead of the minimum required 4.5 m for a proposed second storey balcony/terrace.
8. To permit lot coverage of 39.2% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
9. To permit floor area ratio of 0.67:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the 2021 Meeting Agenda tab at **Burlington.ca/coa** on or after **Wednesday WEDNESDAY APRIL 21, 2021**,

City Council approved Committee of Adjustment Hearings to be held electronically, with all Committee members, staff, applicants and delegations participating in the meetings remotely. The Committee of Adjustment will meet virtually to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY APRIL 28, 2021,

This application is scheduled to be heard at or after **5:30 pm**.

How to participate if I have comments or concerns?

Submit written correspondence

You can send your written comments (photos, plans, etc) regarding the application by e-mail (**preferred**) to **committeeofadjustment@burlington.ca** with the subject line to read "Comments_Your Name_File No._Address of the Property" OR by regular mail addressed to the Secretary-Treasurer noted below. Include your name, address, application number and address of the property for which you are providing comments. **To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.**

City of Burlington Committee of Adjustment - Community Planning
Attn: Amanda D'Angelo, Secretary-Treasurer
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

Participate in the electronic hearing by webinar or telephone:

Pre-register as a delegate by contacting the Secretary-Treasurer noted below by email or telephone no later than 12:00 p.m. (noon) the day before the hearing date. You are encouraged to pre-register as a delegate as soon as possible to facilitate an orderly registration process.

All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance as a backup should any technology issues occur. Pre-registered delegates will be provided with all applicable access codes and instructions to enter the electronic hearing and will also be asked to test their audio/video capabilities prior to the hearing.

Watch or listen to the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active just before **5:30** pm.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal Hearing. The Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing.

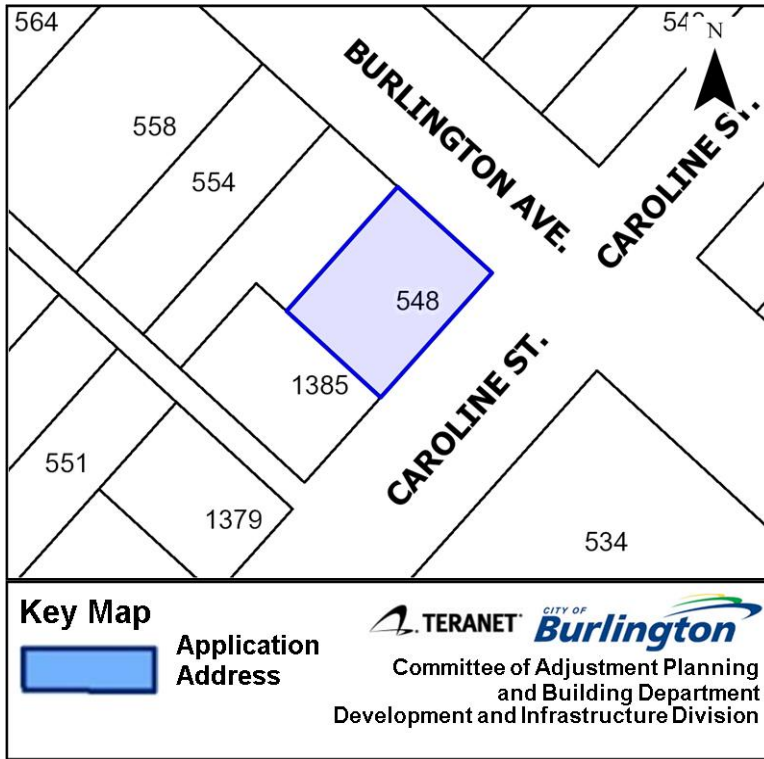
Yours truly,



Amanda D'Angelo
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Key Map



Application
Address



Committee of Adjustment Planning
and Building Department
Development and Infrastructure Division

GENERAL:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMAINS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
- ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
- BUILDING ENVELOPES SHOWN ARE LOCATED BASED ON ZONING REQUIREMENTS.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUTS PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQ'D)
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
- ALL DISTURBED GRASSED AREAS MUST BE REINSTATED WITH 150 mm TOPSOIL AND NURSERY SOD PER OPSS 803.
- ALL RESTORATION MUST BE COMPLETED TO REGION OF HALTON AND CITY OF BURLINGTON STANDARDS.
- ALL CATCH BASINS ADJACENT TO THE SITE SHALL BE PROTECTED WITH SILT SACS PER TYPICAL DETAIL THIS DRAWING.
- TREE PROTECTION SHALL BE ERECTED ACCORDING TO CITY OF BURLINGTON TREE PRESERVATION GUIDELINE SS112A.
- INSPECTION AND/OR EXCAVATION INSIDE TREE HOARDING MUST BE UNDERTAKEN WITH THE USE OF A HYDRO-EXCAVATION EQUIPMENT.

ROADWORKS:

- ALL ROAD REINSTATEMENT MUST BE IN ACCORDANCE WITH CITY OF BURLINGTON STANDARD DRAWING S-114, S114B AND S-125A.

PRIVATE DRAINS:

- BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO LANDSCAPED AREAS VIA SPLASH PADS A MIN. OF 0.6m FROM THE BUILDING FACE.
- SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEEPING TILES TO GRADE VIA CONCRETE SPLASH PADS A MIN OF 0.6m AWAY FROM THE FOUNDATION WALL. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO GRADE.

GRADING:

- LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF BURLINGTON LOT GRADING POLICY.
- ALL ELEVATIONS AFFECTED PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
- ALL IMPORTED FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
- ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
- ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
- ALL DISTURBED BOULEVARD AREAS ARE TO BE REINSTATED WITH 100mm TOPSOIL AND NO. 1 NURSERY SOD IN ACCORDANCE WITH OPSS 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

REGIONAL APPROVAL:

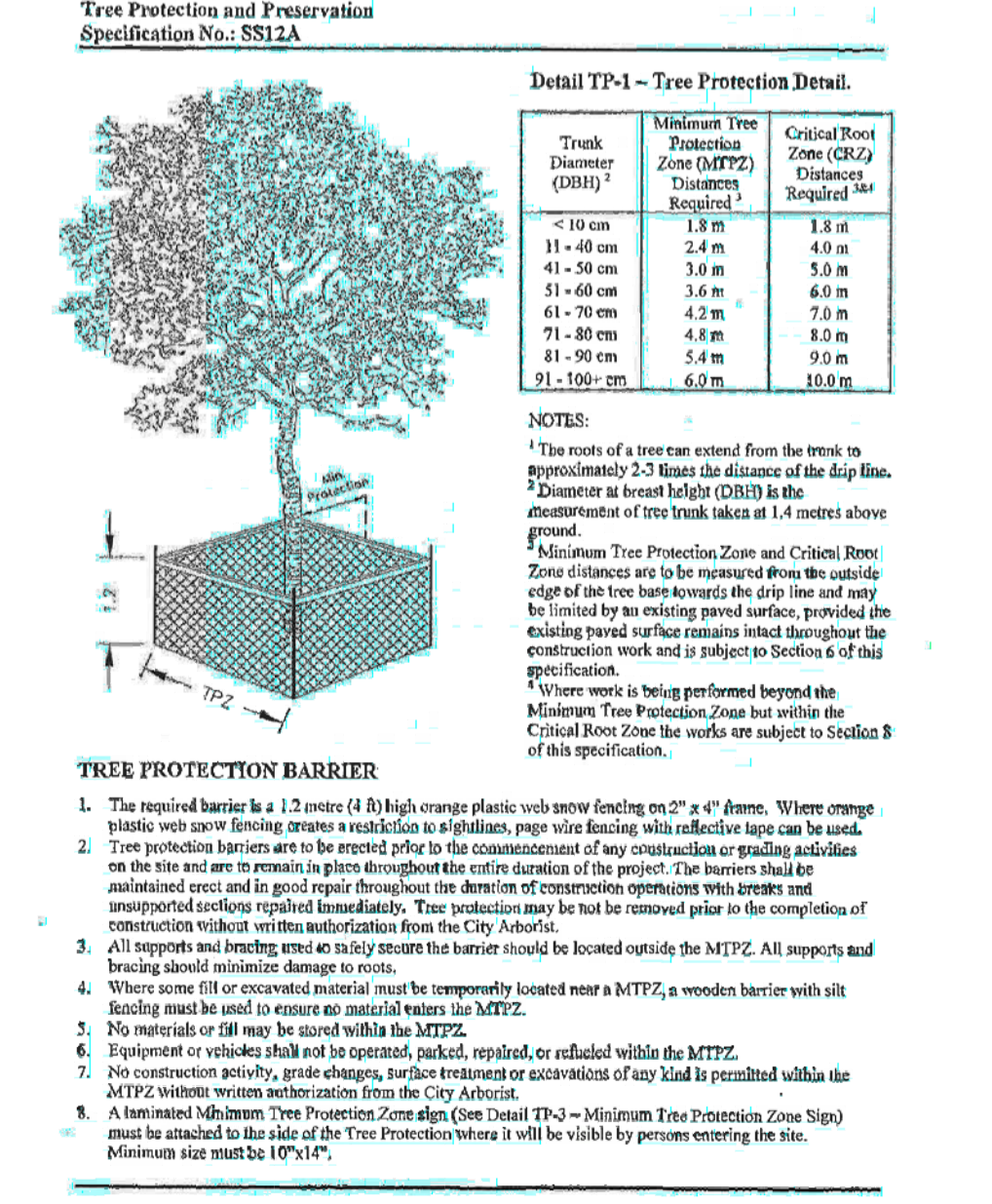
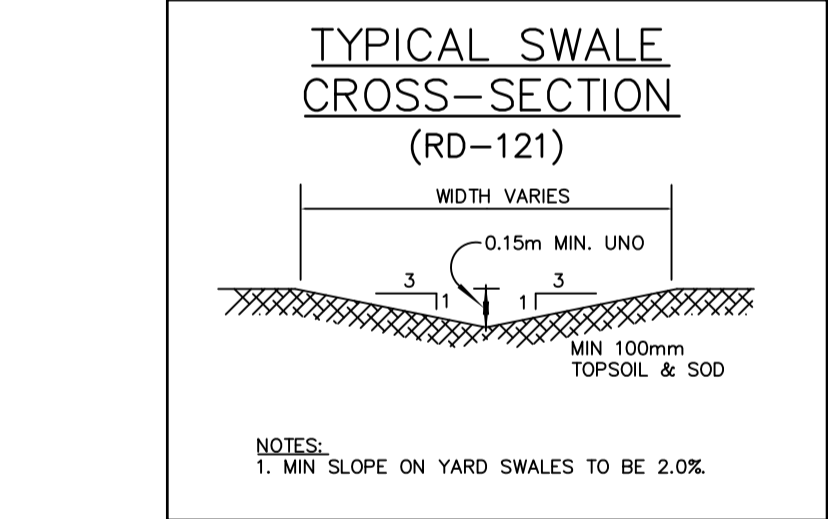
REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____

DATED: _____

INFRASTRUCTURE PLANNING & POLICY

The Applicant show be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (the Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-925-6032) Furthermore, all water quality tests must be completed to Halton Region's satisfaction, before the water supply can be turned on.



GENERAL GRADING NOTES:

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SODDED SLOPES (MIN 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.10m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.ENG.
- SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES)
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MIN. 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7%. REVERSE SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM OF 95% SPD, UNLESS OTHERWISE SPECIFIED.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
- LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT ADJACENT BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER

BUILDING "C"	REQUIRED	PROPOSED
LOT FRONTAGE	N/A	17.1 m (Min.)
LOT AREA	379 m ² (Min.)	379 m ² (Min.)
LOT COVERAGE	25% (Max.)	39%
FRONT YARD SETBACK	6.00 m (Dwelling) 5.35 m (Overhang)	4.9 m (Dwelling) 4.7 m (Overhang)
REAR YARD SETBACK	4.50 m	1.8 m
NORTH YARD SETBACK	1.80 m	1.2 m
SOUTH YARD SETBACK	4.50 m (Dwelling) 3.85 m (Overhang)	5.1 m (Dwelling) 4.9 m (Overhang)
HEIGHT (PEAK OF ROOF)	10.0 m	9.55 m
BUILDING AREA/FOOT PRINT EXC DECKS/PORCHES		147.8 m ²

* R3.2 ZONING APPLIES IF NOT GIVEN

STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

18. EXISTING GRAVEL ARE AROUND THE CITY TREE ALONG CAROLINE IS TO BE CAREFULLY REMOVED, TOP SOIL ADDED AND RE-SODDED.

COMPACTION REQUIREMENTS:

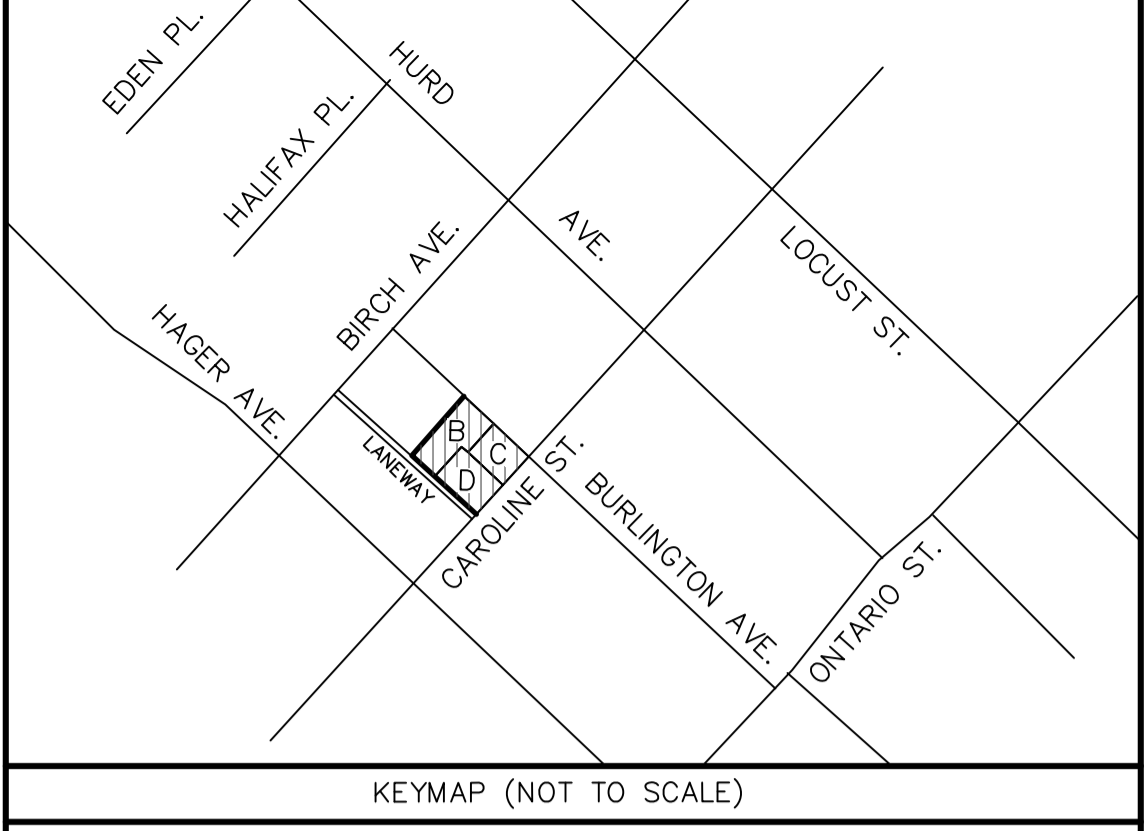
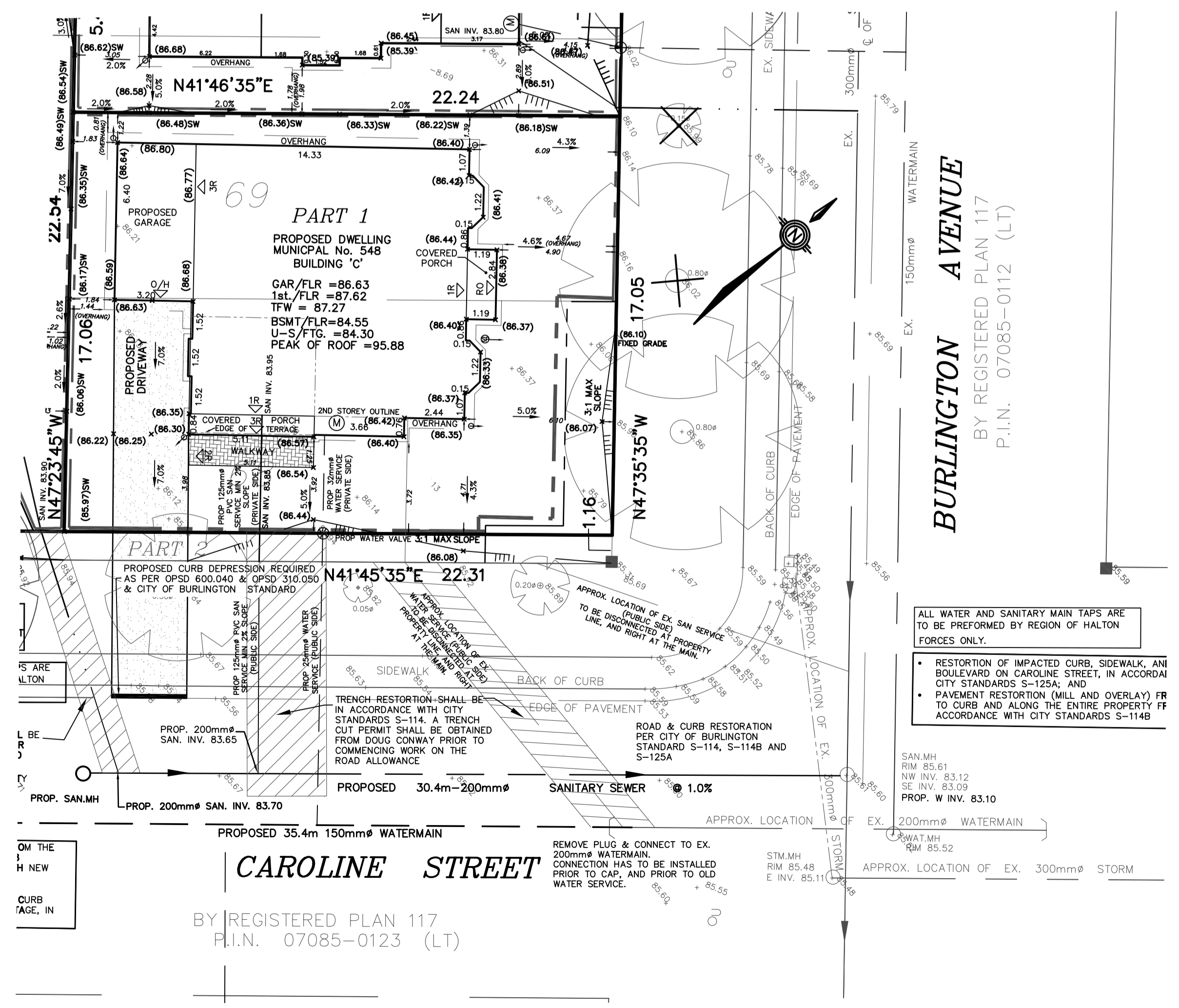
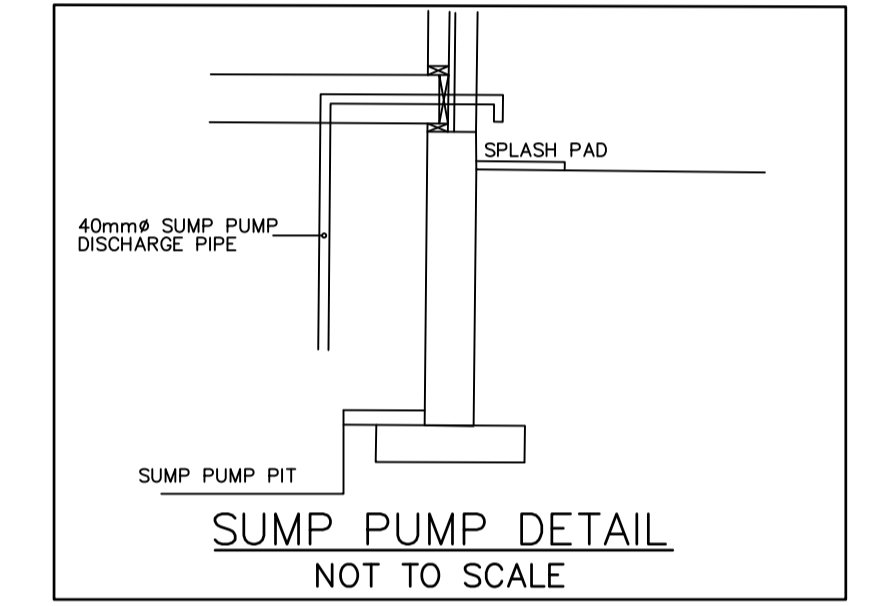
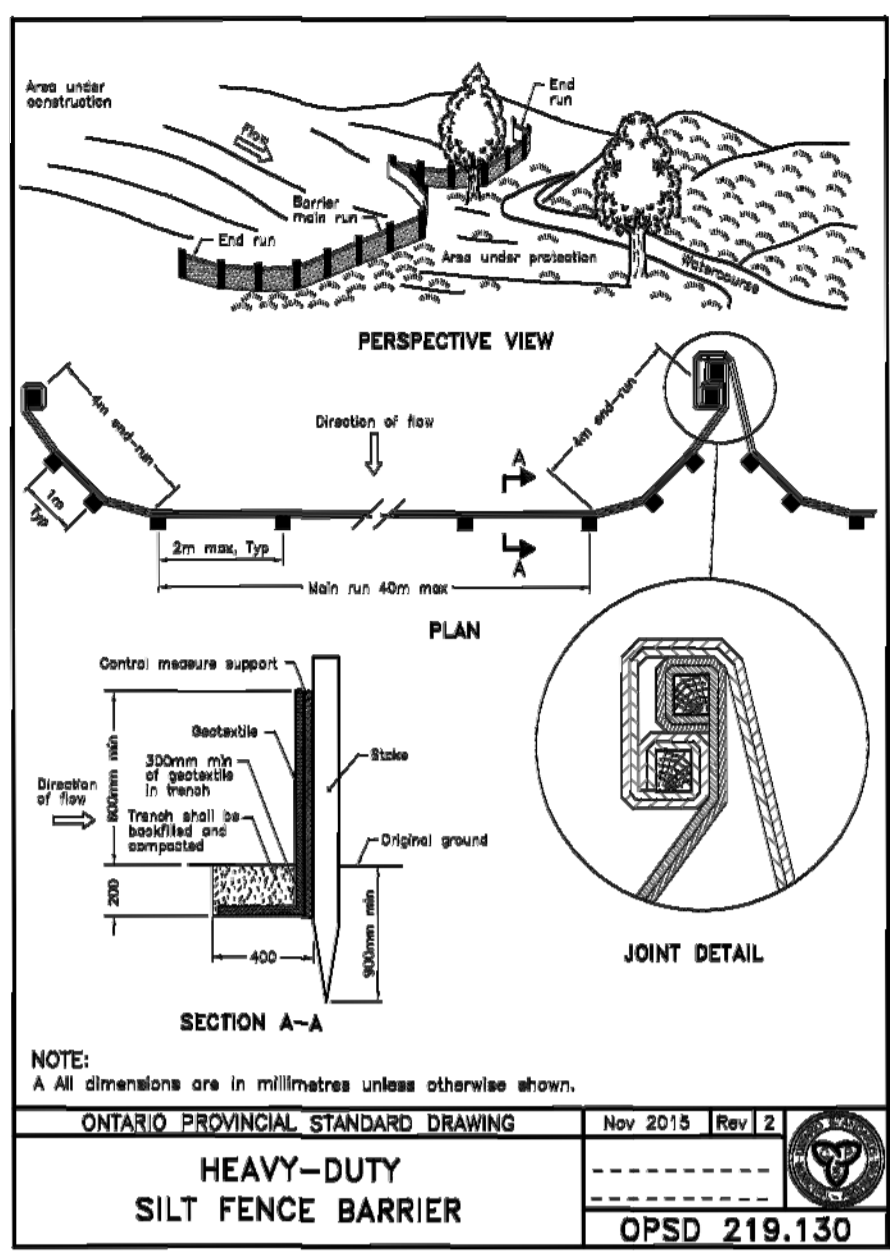
- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPD UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPD.

SILTATION AND EROSION CONTROL:

- SILT FENCE IN ACCORDANCE WITH OPSS 219.130 SHALL BE PLACED AROUND THE SITE AND AS REQUIRED BY THE CITY OF BURLINGTON AND REGION OF HALTON. SILT FENCE MUST BE INSPECTED FOLLOWING ALL RAIN EVENTS AND MAINTAINED TO THE SATISFACTION OF THE CITY OF BURLINGTON AND THE REGION OF HALTON.

BACKYARD GRADING:

- DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
- THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
- THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM 2 ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF CONSTRUCTION.
- THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3H:1V)



LEGEND

- (93.75) SW PROPOSED SWALE ELEVATION
- 93.44 EXISTING ELEVATION
- (93.75) PROPOSED ELEVATION
- 4.0% PROPOSED SURFACE FLOW DIRECTION & GRADE
- PROPOSED SWALE
- SILT FENCE & LIMIT OF GRADING
- ⊗ EXISTING TREE
- ⊗ EXISTING TREE TO BE REMOVED
- ▽ PROPOSED ENTRANCE LOCATION
- TREE PROTECTION ZONE
- 📍 LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS
- 📍 LOCATION AND DIRECTION OF FLOW FOR SUMP PUMP

DRAWING NOTE:

SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM PLAN BY PEARCE SURVEYING INC. DATED JULY 2015.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET DIVIDING BY 0.3048.

CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

No.	DATE	BY	DESCRIPTION
4	SEP 26, 2019	EA	REVISED AS PER CITY COMMENTS
3	FEB. 10, 2017	EA	REVISED AS PER CITY COMMENTS
2	JAN. 30, 2017	EA	REVISED AS PER CITY COMMENTS
1	JAN. 17, 2017	EA	ISSUED FOR REVIEW

REVISIONS

ENGINEER'S STAMP

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PLAN SHOWING
PROPOSED SITE & GRADING PLAN
ON
Part of Lots 68 & 69, Plan No. 117
BEING
548 BURLINGTON ST.
CITY OF BURLINGTON

AN ASHENHURST NOUWENS & ASSOCIATES INC.
Professional Engineers & Ontario Land Surveyors
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6651 e-mail: an@ashenhurstnouwens.com

BENCH MARK

LOCAL ELEVATION ARE DERIVED FROM A NAIL IN THE PAVEMENT OPPOSITE No. 4076. HAVING AN ELEVATION OF 100.00m.

DWN BY: EA	CHK BY: DDN	DWG No.
SCALE: 1 : 150		15225 SGP 1
DATE: FEB 10, 2017		

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Cameryn Lanes Building "C"

CONTACT INFORMATION

*PROJECT: CAMERYN LANES
 BUILDER: MAURICE DESROCHERS
 STRUCTURAL ENGINEER: STRICK BALDINELLI & MONIZ LTD.
 519.471.6667 - AARON@SBMLTD.CA
 HVAC DESIGNER: CHRIS & MARIA MISENER
 CMISENERDESIGN@GMAIL.COM*

DRAWING LIST

- A0 - TITLE PAGE
- A101 - BASEMENT & MAIN FLOOR PLAN
- A102 - SECOND FLOOR & ROOF PLAN
- A201 - FRONT & LEFT SIDE ELEVATIONS
- A202 - REAR & RIGHT SIDE ELEVATIONS

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No.	DATE	DESCRIPTION
1	08-26-19	RE-ISSUED FOR VARIANCE

SIGNATURE REQUIRED
 JOHN WILLIAMS REVIEWS AND TAKES RESPONSIBILITY FOR THE DESIGN WORK DESCRIBED IN THIS DOCUMENT
 DESIGN COMPANY RCIN 31437
 INDIVIDUAL RCIN 2472

8.26.2019

WILLIAMS
 RESIDENTIAL DESIGN
 461 Burlington Avenue
 Burlington, Ontario
 L7S 1S1
 905-637-3274

TITLE PAGE
 Date: Aug. 26, 19
 Scale: AS NOTED

Cameryn Lanes Building 'C'
 1387 Caroline Street
 Burlington, Ontario
 L7S 1S1

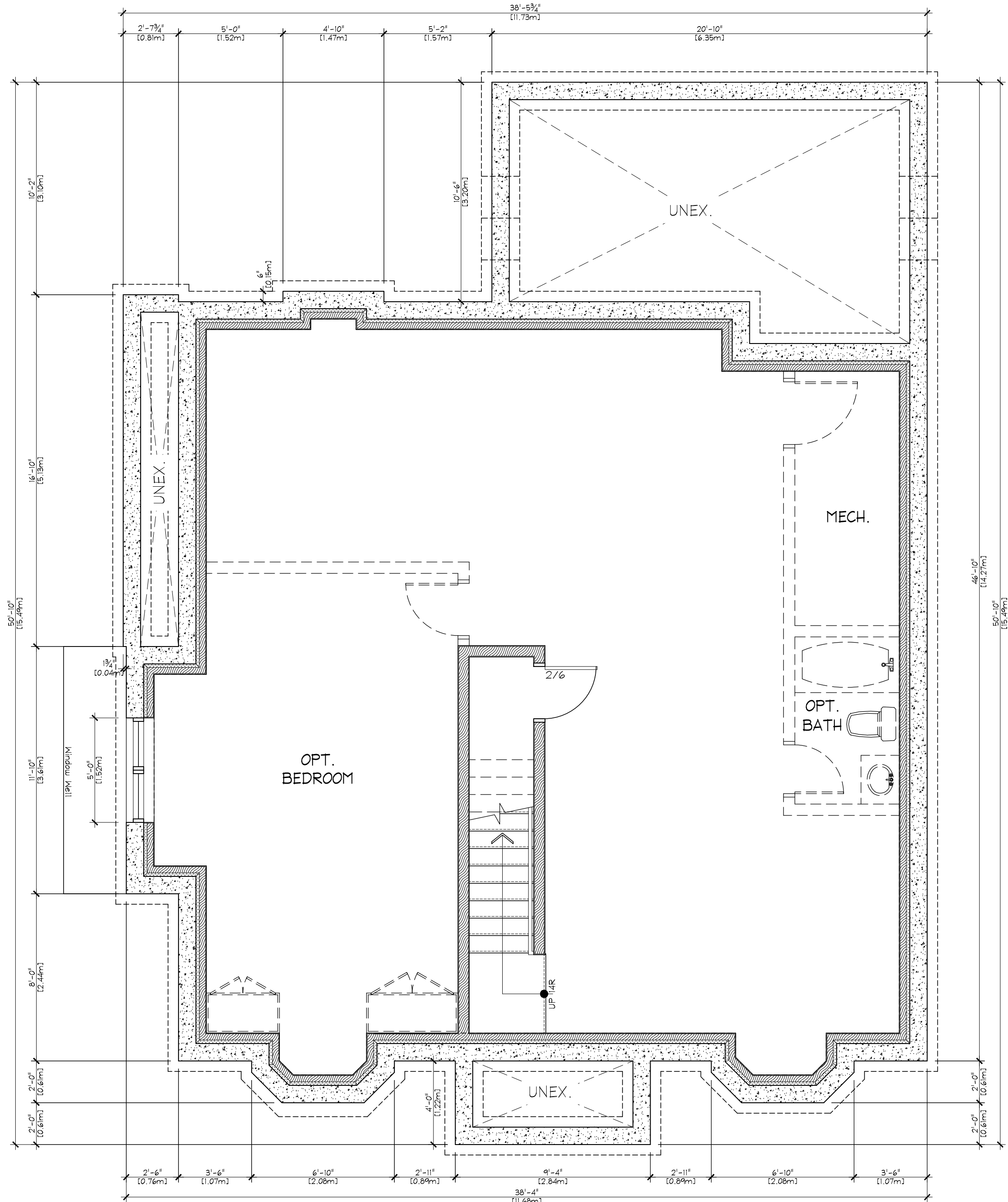
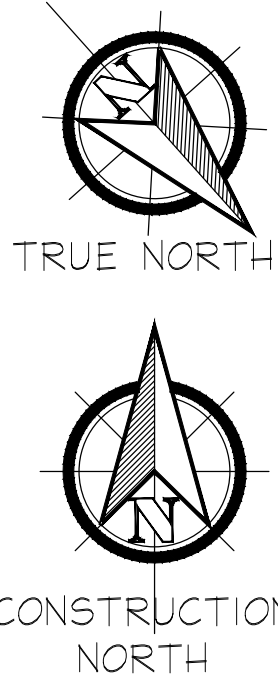
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 Approved By: JW
 Job Number: CAMC
 Sheet: A0
 OF: 5

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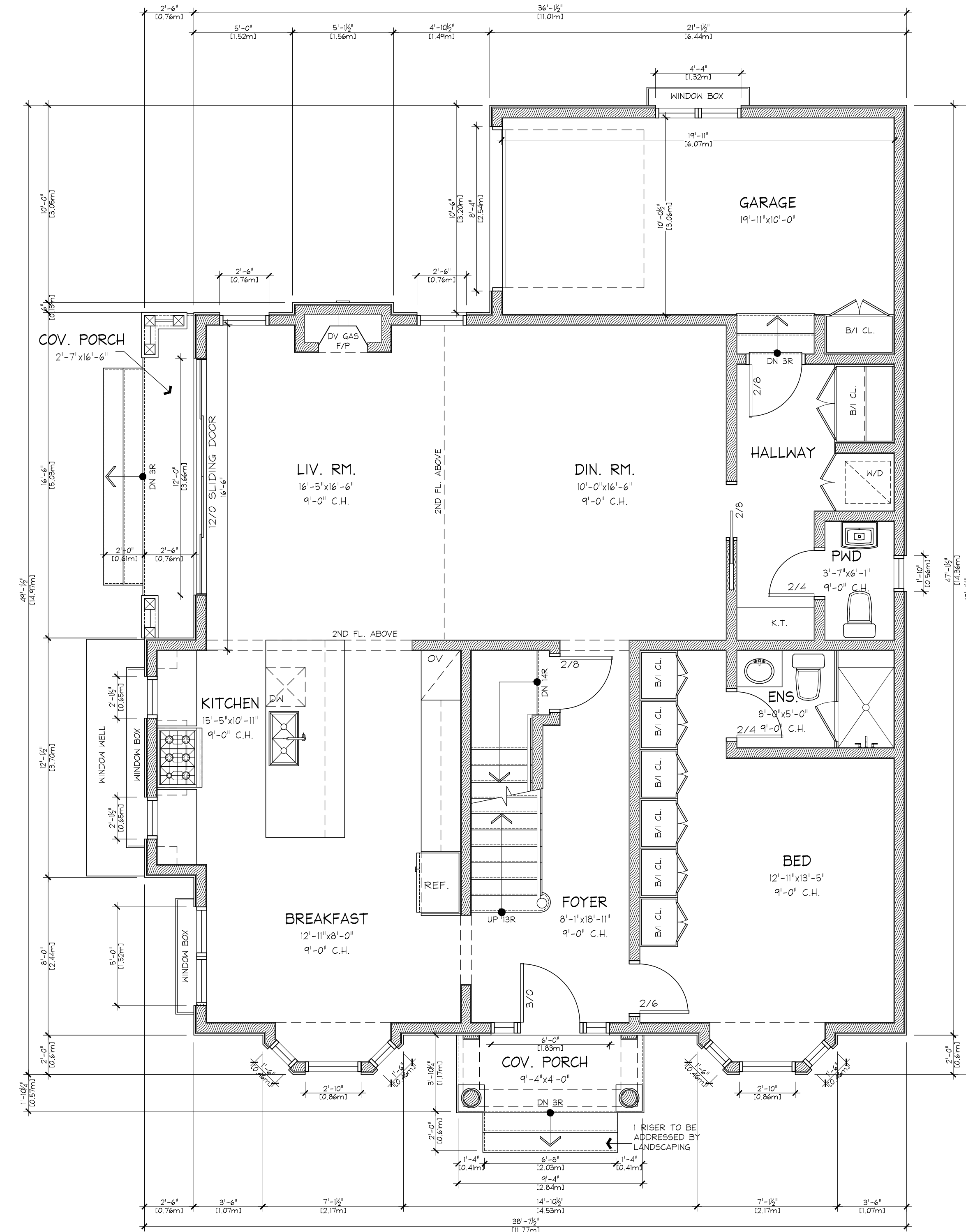
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1 BASEMENT FLOOR PLAN
 A101 1/4" = 1'-0"



2 MAIN FLOOR PLAN
 A101 1/4" = 1'-0"

FIN. FIRST FLOOR AREA: 1340.07ft² (124.49m²)
 FIN. 2ND FLOOR AREA: 1100.76ft² (102.26m²)
 TOTAL FIN. FLOOR AREA: 2440.82ft² (226.75m²)

FIN. FIRST FLOOR AREA: 1340.07ft² (124.49m²)
 GARAGE AREA: 235.75ft² (21.90m²)
 TOTAL COVERAGE: 1575.78ft² (146.39m²)

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No.	DATE	DESCRIPTION
1	08-26-19	RE-ISSUED FOR VARIANCE

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 DESIGN COMPANY RCN 3147
 INDIVIDUAL RCN 2472

8.26.2019

WILLIAMS
 RESIDENTIAL DESIGN
 461 Burlington Avenue
 Burlington, Ontario
 L7S 1S1
 905-637-3274

BASEMENT & MAIN FLOOR PLAN

Scale AS NOTED Date Aug. 26, 19

Cameryn Lanes Building 'C'
 1387 Caroline Street
 Burlington, Ontario
 L7S 1S1

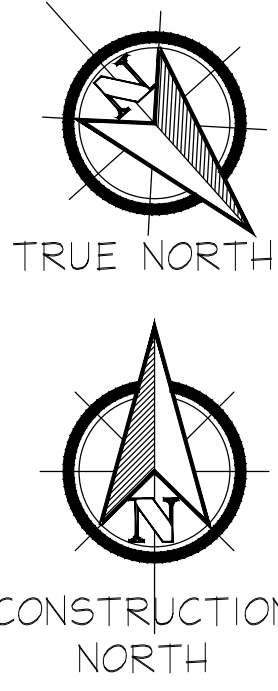
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 Approved By JW A101
 Job Number CAMC OF 5

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No.	DATE	DESCRIPTION
1	08-26-19	RE-ISSUED FOR VARIANCE

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 L7S 1Y1
 905-637-3274

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 DESIGN COMPANY RCN 31437
 INDIVIDUAL RCN 24472

8.26.2019

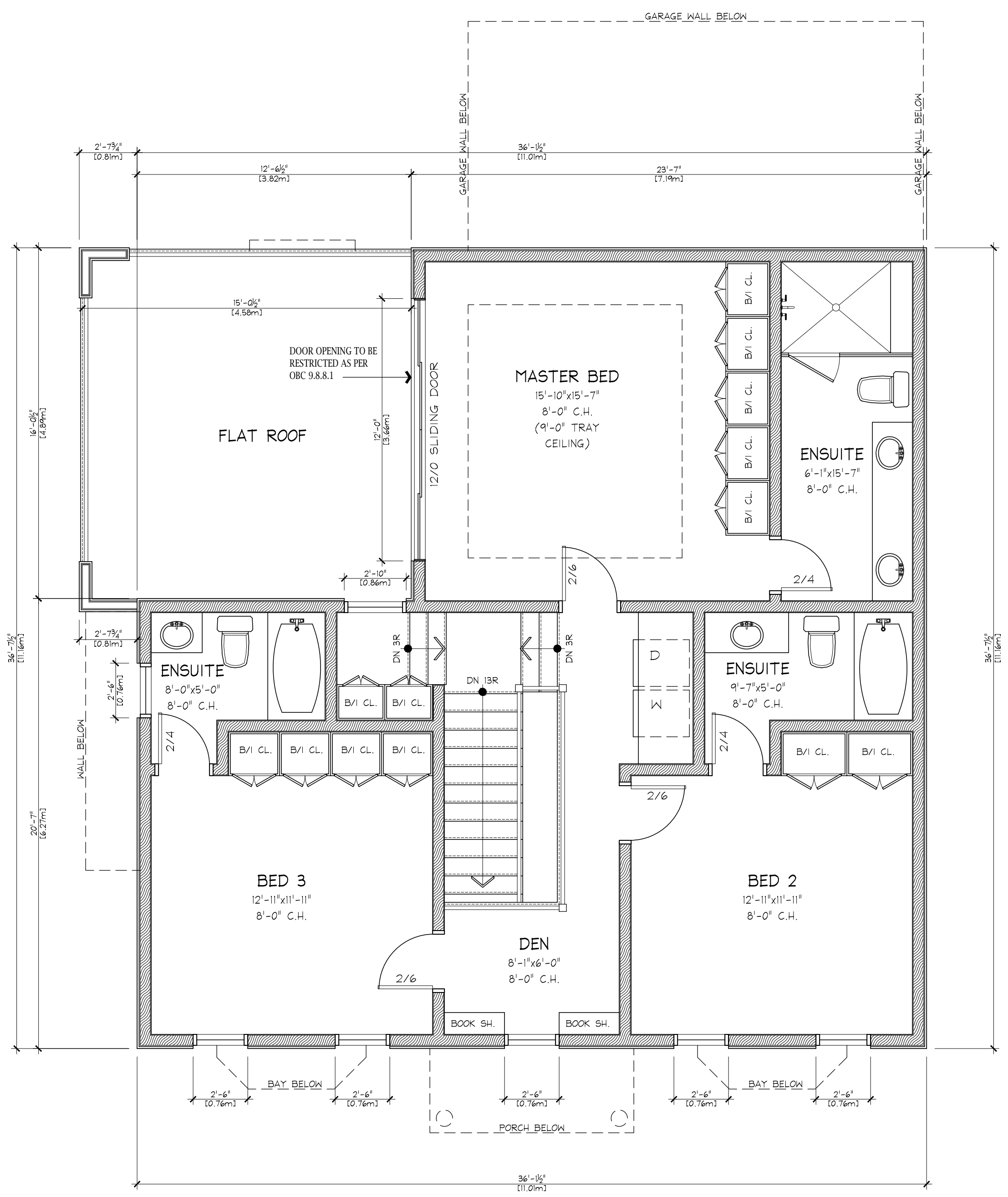
Cameryn Lanes Building 'C'
 1387 Caroline Street
 Burlington, Ontario
 L7S 1S1

2ND FLOOR & ROOF PLAN

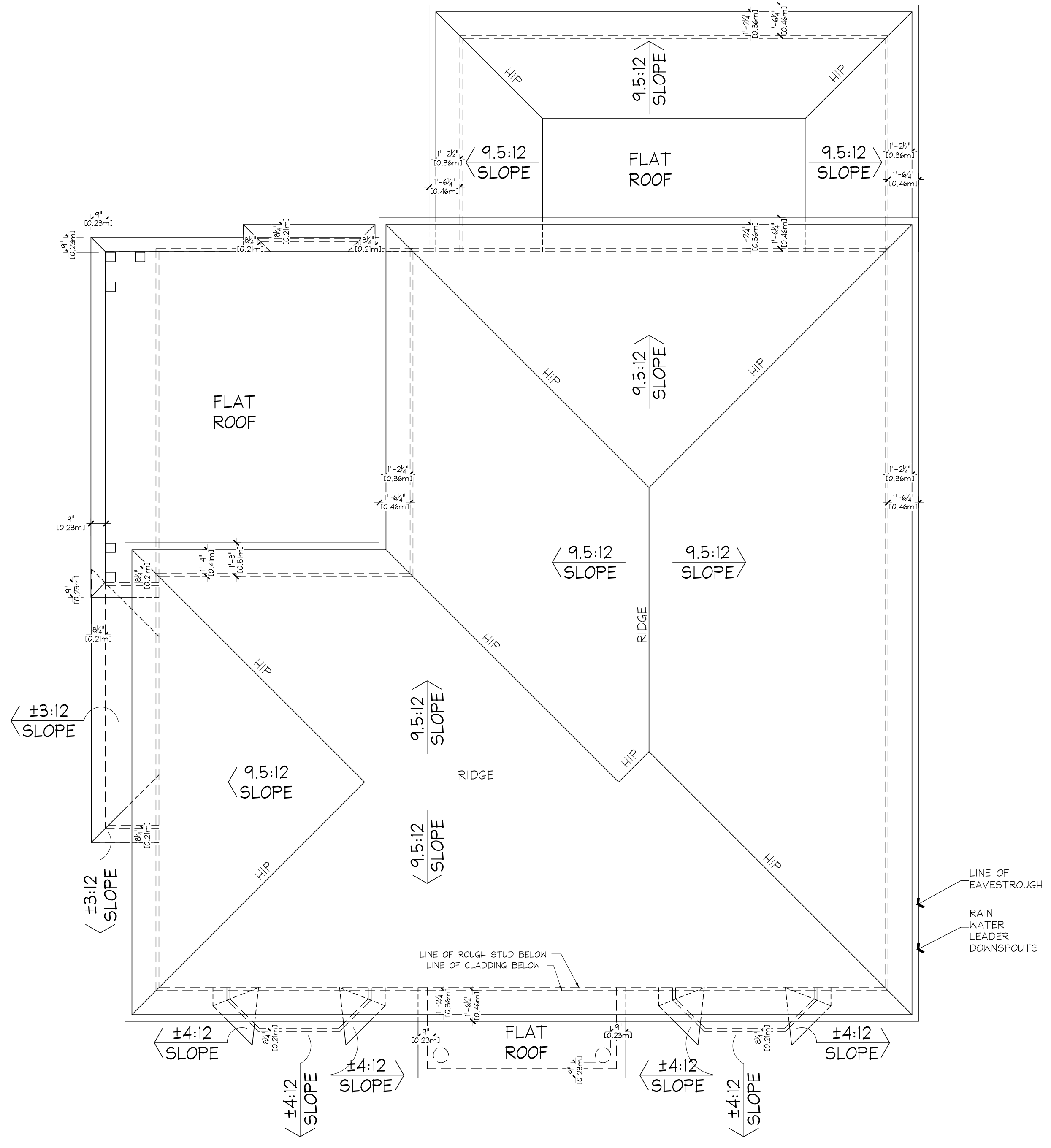
Scale: AS NOTED
 Date: Aug. 26, 19

Drawn By: CB
 Approved By: JW
 Job Number: CAM.C

Sheet: A102
 OF: 5



1 SECOND FLOOR PLAN
 A102 1/4" = 1'-0"



2 ROOF PLAN
 A102 1/4" = 1'-0"

**PRELIMINARY DRAWING
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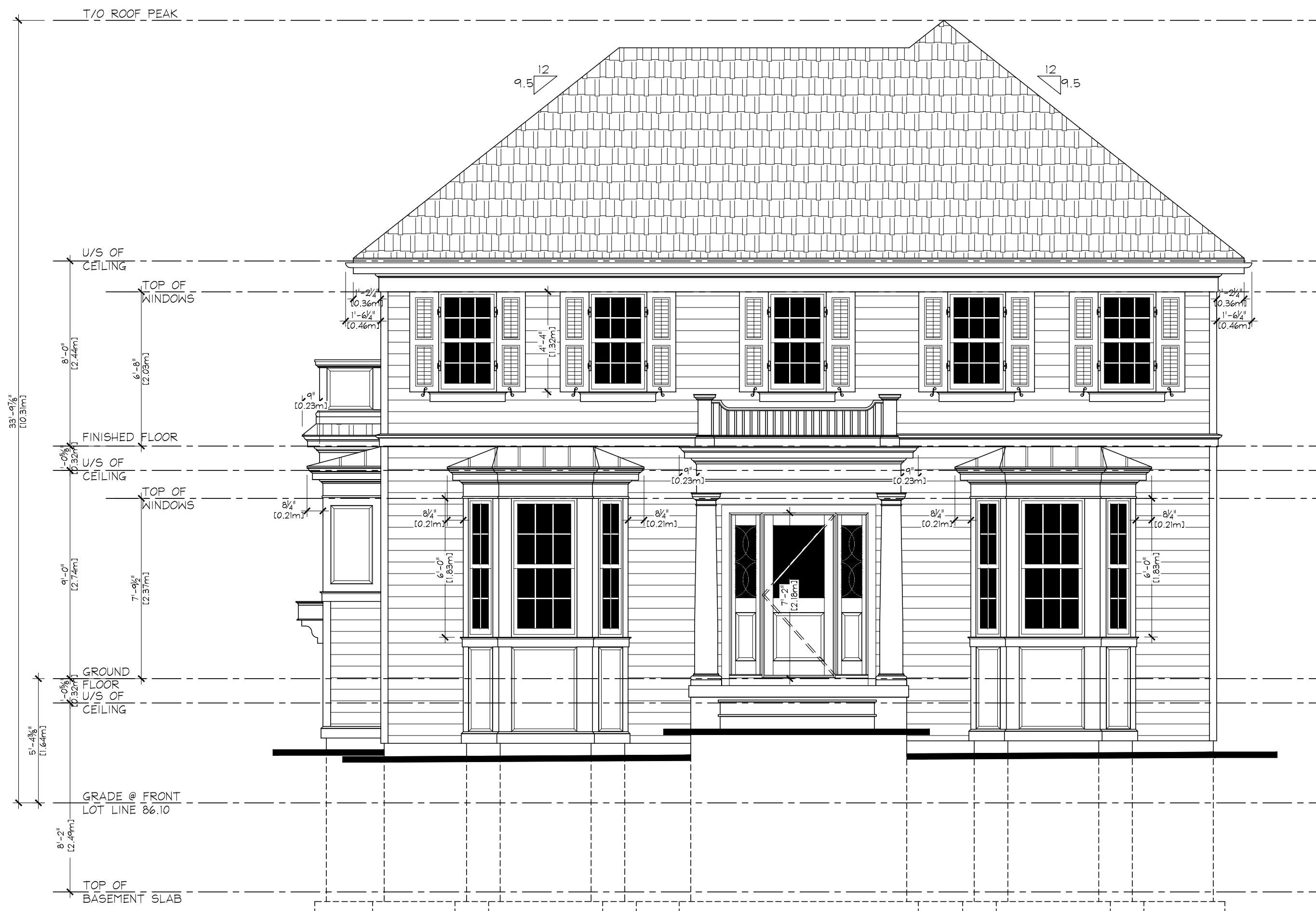
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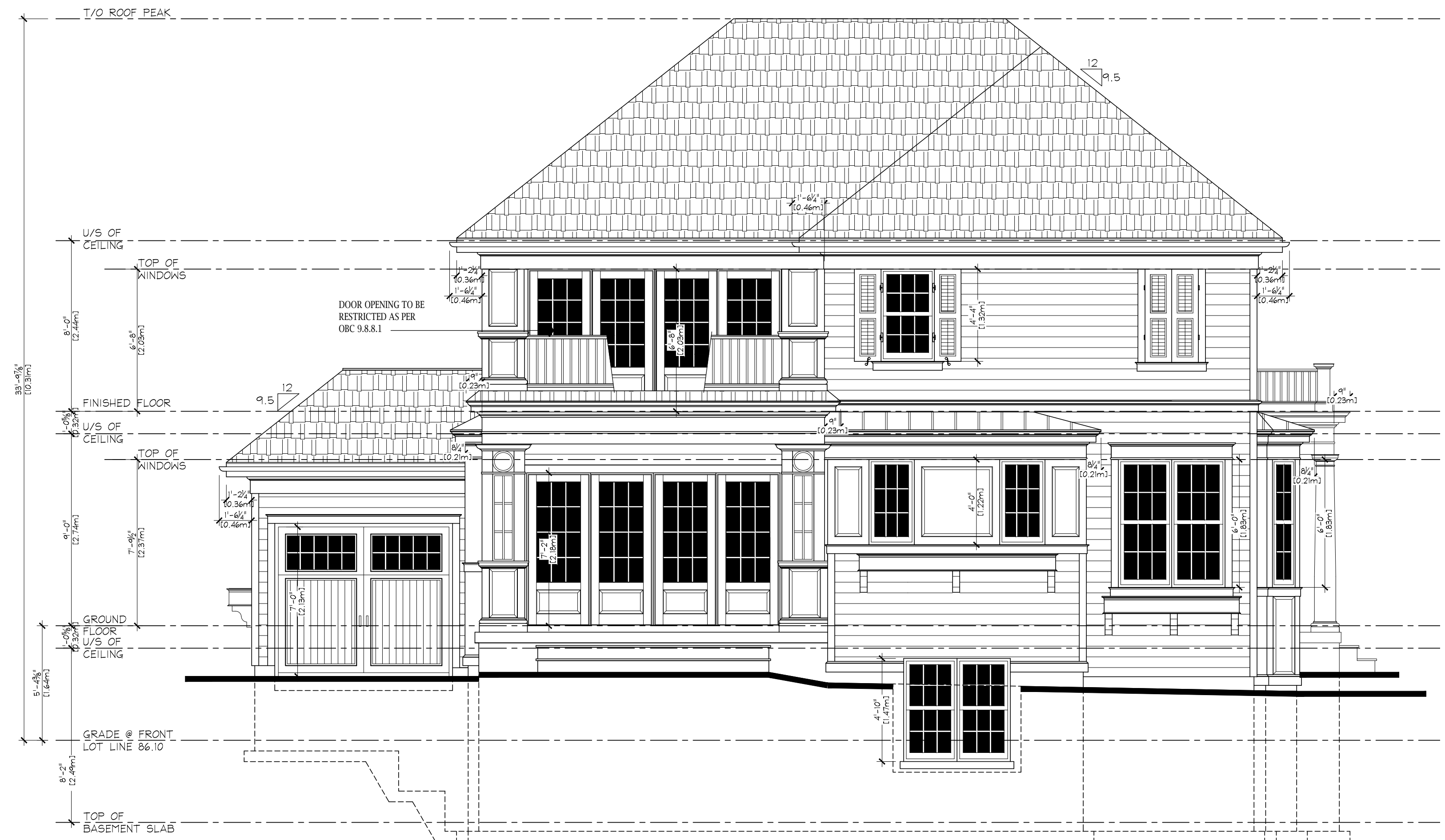
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No.	DATE	DESCRIPTION
1	08-26-19	RE-ISSUED FOR VARIANCE



1 FRONT ELEVATION
 A201 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
 A201 1/4" = 1'-0"

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 INDIVIDUAL RCN 2472

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 Burlington, Ontario
 L7S 1S1
 905-637-3274

FRONT & LEFT SIDE ELEVATIONS

Camryn Lanes Building 'C'
 1387 Caroline Street
 Burlington, Ontario
 L7S 1S1

Drawn By: CB
 Approved By: JW
 Job Number: CAMC

Date: Aug. 26, 19
 Scale: AS NOTED

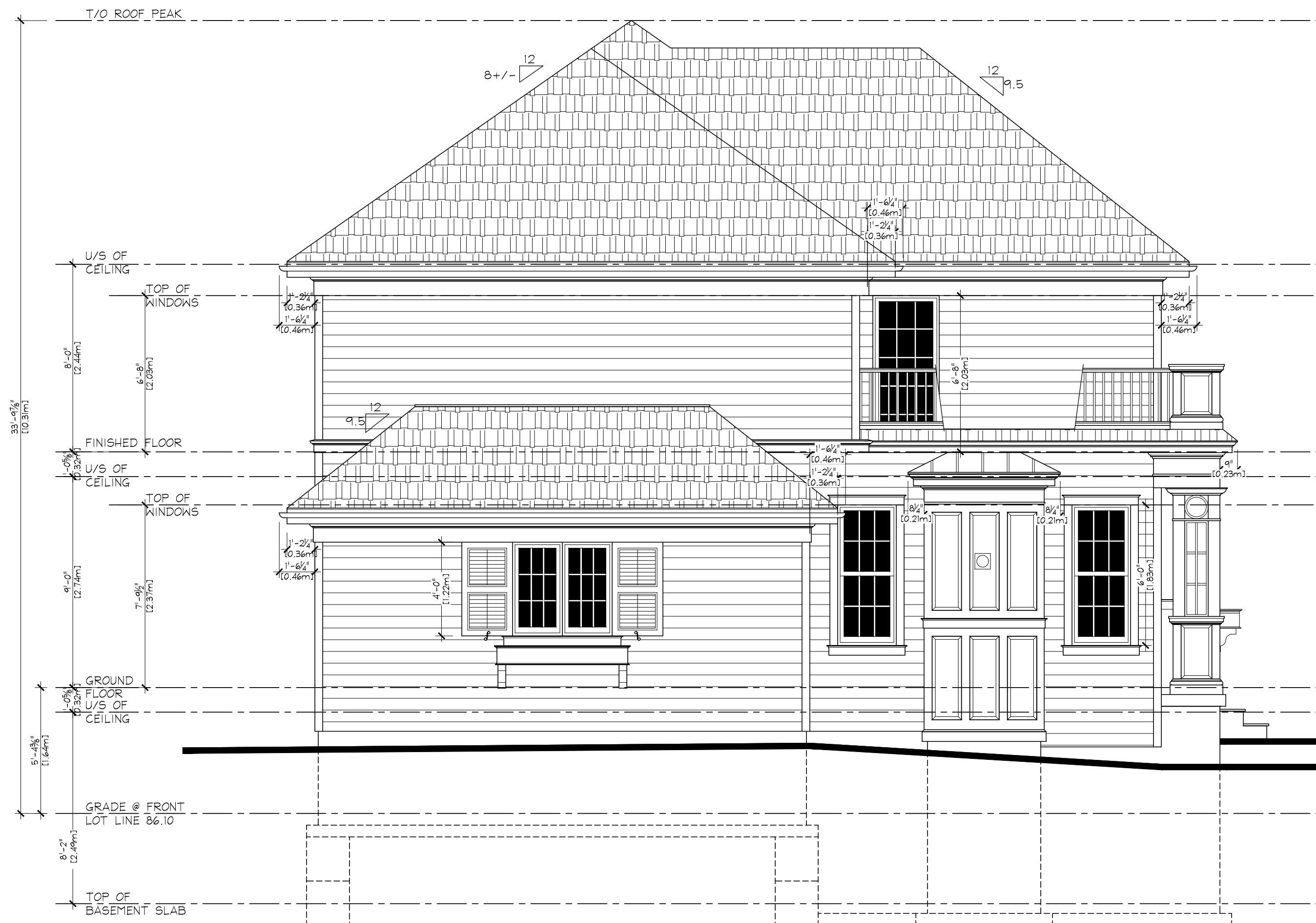
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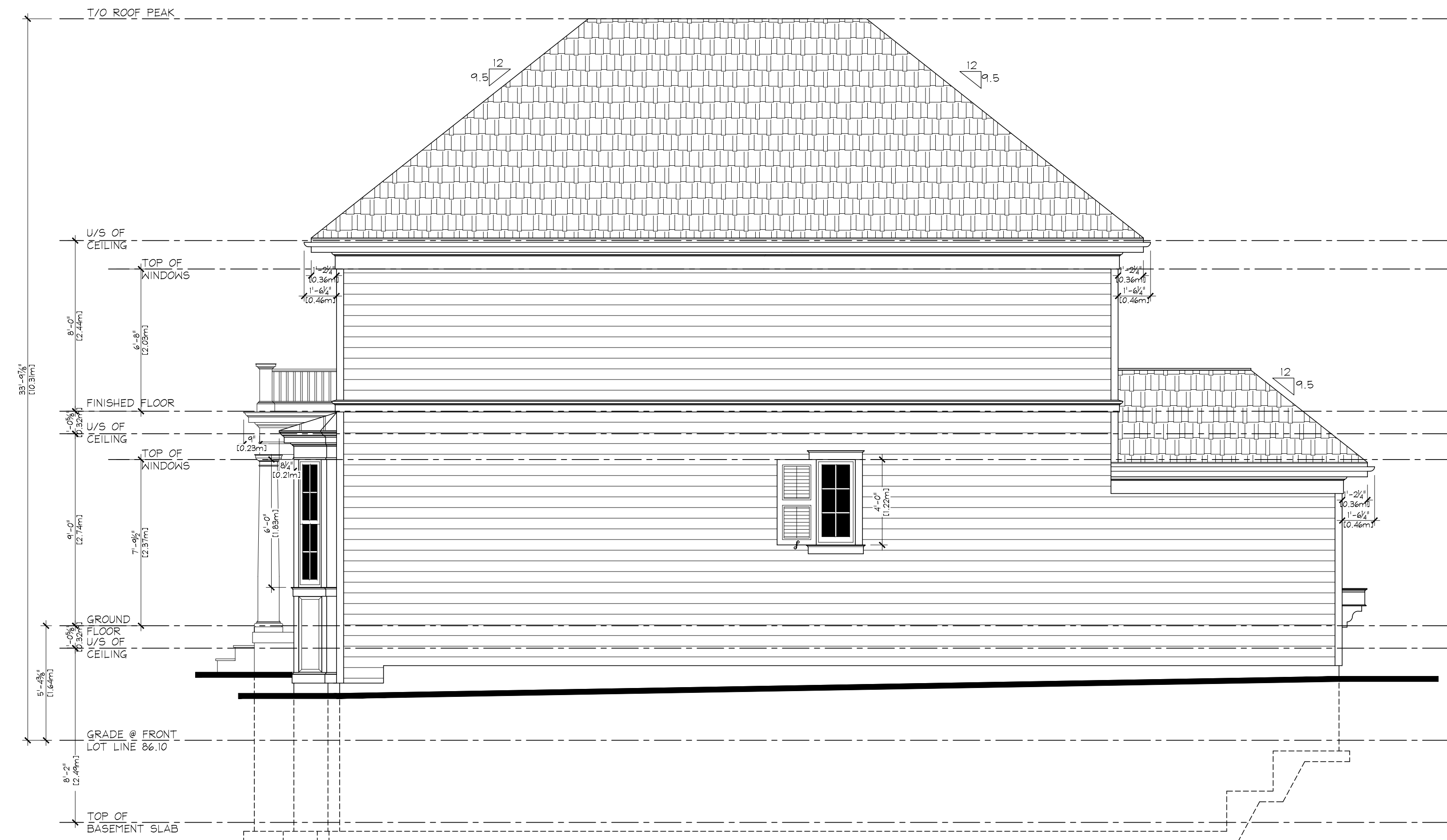
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1 REAR ELEVATION
 A202 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
 A202 1/4" = 1'-0"

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DESCRIPTION
 RE-ISSUED FOR VARIANCE

DATE
 08-26-19

No.

8.26.2019

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 INDIVIDUAL RCIN 2472

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 Burlington, Ontario
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 905-637-3274

REAR & RIGHT SIDE ELEVATIONS

Scale AS NOTED
 Date Aug. 26, 19

Camryn Lanes Building 'C'
 1387 Caroline Street
 Burlington, Ontario
 L7S 1S1

Drawn By CB
 Approved By JW
 Job Number CAMC
 Sheet
A202
 OF 5

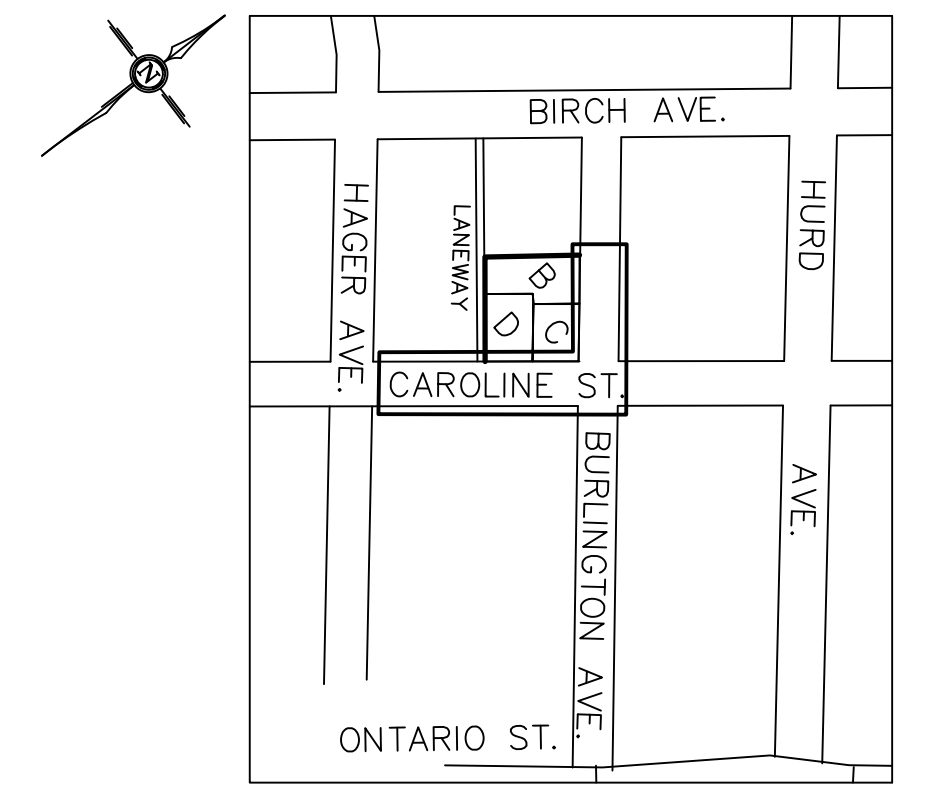
**PRELIMINARY DRAWING
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- GENERAL:**
1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMAINS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
 3. ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
 4. BUILDING ENVELOPES SHOWN ARE LOCATED BASED ON ZONING REQUIREMENTS.
 5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:

- BUILDING PERMIT
- ROAD CUTS PERMITS
- APPROACH APPROVAL PERMITS
- COMMITTEE OF ADJUSTMENT
- SEWER AND WATER PERMITS
- RELOCATION OF SERVICES
- ENCROACHMENT AGREEMENTS (IF REQ'D)

OWNER MAURICE DESROCHERS MUNICIPAL ADDRESS 550 BURLINGTON AVE. LEGAL DESCRIPTION PART OF LOTS 69 & 70, R.P. 117 CITY OF BURLINGTON	ZONING DRL MUNICIPAL ADDRESS 548 BURLINGTON AVE. LEGAL DESCRIPTION PART OF LOTS 68 & 69, R.P. 117 CITY OF BURLINGTON	MUNICIPAL ADDRESS 1385 CAROLINE STREET LEGAL DESCRIPTION PART OF LOTS 67,69 & 70, R.P.117 CITY OF BURLINGTON				
SITE STATISTICS	BUILDING "B"	PROPOSED	BUILDING "C"	PROPOSED	BUILDING "D"	PROPOSED
LOT FRONTAGE	12.1 m (Min.)	12.2 m	N/A	17.1 m (Min.)	N/A	15.2 m (Min.)
LOT AREA	373 m ² (Min.)	373 m ²	379 m ² (Min.)	379 m ² (Min.)	343 m ² (Min.)	343 m ² (Min.)
LOT COVERAGE	31% (Max.)	31%	25% (Max.)	38% (Max.)	25% (Max.)	33.3% (Max.)
FRONT YARD SETBACK	5.4 m 4.0 m (Overhang)	4.2 m 4.1 m (Overhang)	6.00 m (Dwelling) 5.35 m (Overhang)	4.9 m (Dwelling) 4.7 m (Overhang)	6.00 m (Dwelling) 5.35 m (Overhang)	4.2 m 3.9 m (Overhang)
REAR YARD SETBACK	9.0 m *	10.1 m	4.50 m	1.8 m	4.50 m	1.2 m
NORTH YARD SETBACK	1.2 m	1.2 m	1.80 m	1.2 m	1.20 m ²	1.2 m (East)
SOUTH YARD SETBACK	1.2 m	1.2 m	4.50 m (Dwelling) 3.85 m (Overhang)	5.1 m (Dwelling) 4.9 m (Overhang)	1.20 m ²	4.9 m 4.4 m (Overhang)
HEIGHT (PEAK OF ROOF)	10.0 m	10.09m (VARIANCE REQ.)	10.0 m	9.78 m	10.0 m	10.45 m (VARIANCE REQ.)

* R3.2 ZONING APPLIES IF NOT GIVEN



KEY PLAN
NOT TO SCALE

- LEGEND**
- U-S/FTG = 83.75 PROPOSED UNDERSIDE OF FOOTING
 - EXISTING TREE
 - EXISTING TREE TO BE REMOVED
 - PROPOSED SANITARY SERVICE (150mmØ)
 - PROPOSED SANITARY SEWER
 - PROPOSED WATERMAIN
 - EXISTING WATERMAIN
 - EXISTING WATER SERVICE
 - EXISTING SANITARY SERVICE
 - EXISTING STORM SEWER
 - PROPOSED 200mmØ WATER METER
 - SWALE FLOW DIRECTION WITH SLOPE
 - MINIMUM TREE PROTECTION ZONE
 - PROPOSED SILT FENCE
 - LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS

BENCHMARK:
LOCAL ELEVATION ARE DERIVED FROM A NAIL IN PAVEMENT OPPOSITE NO. 4076 HAVING AN ELEVATION OF 100.00m.

5. DEC. 22, 2016	ISSUED FOR REVIEW
5. DEC. 22, 2016	ISSUED FOR REVIEW
4. NOV. 15, 2016	REVISED AS PER CLIENTS REQUEST
3. NOV. 04, 2016	REVISED AS PER CITY COMMENTS
2. SEPT. 15, 2016	REVISED AS PER CLIENT COMMENTS
1. MAY 19, 2016	ISSUED FOR REVIEW

REVISIONS

No	Date	By	Description
1	Dec 22, 2016	A.K.W.	ISSUED FOR REVIEW

Scale
HORIZONTAL: 1:150
VERTICAL: 1:150

APPROVALS

Municipal	Field Notes
Regional	Field Notes

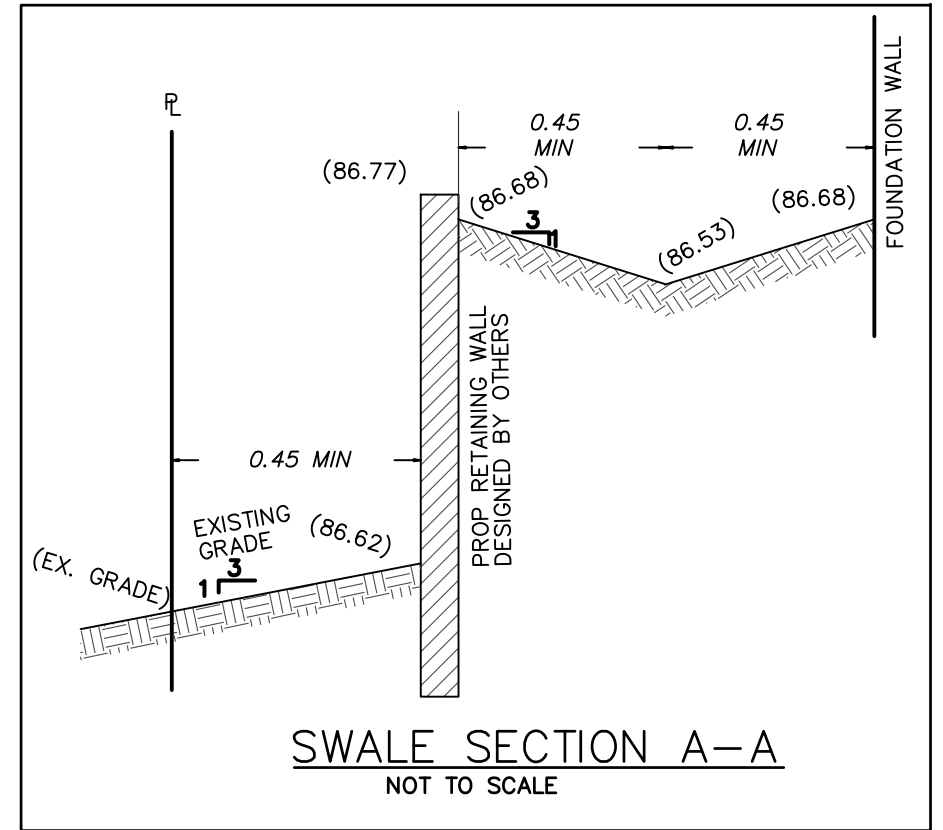
Regional
DESIGN OF WATER AND WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

ASHENHURST NOUWENS & ASSOCIATES INC.
Professional Engineers & Ontario Land Surveyors
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6851 e-mail: an@ashenhurstnouwens.com

CITY OF BURLINGTON
ENGINEERING DEPARTMENT

PLAN SHOWING
PROPOSED SITE, GRADING + SEDIMENT & EROSION CONTROL ON
Part of Lots 68, 69 & 70, Plan No. 117
BEING
548, 550 Burlington Ave. & 1385 Caroline Str.
CITY OF BURLINGTON

MUNICIPAL DRAWING NO	REGIONAL DRAWING NO
CONTRACT NO	ASHENHURST NOUWENS DRAWING NO.
	15225-06

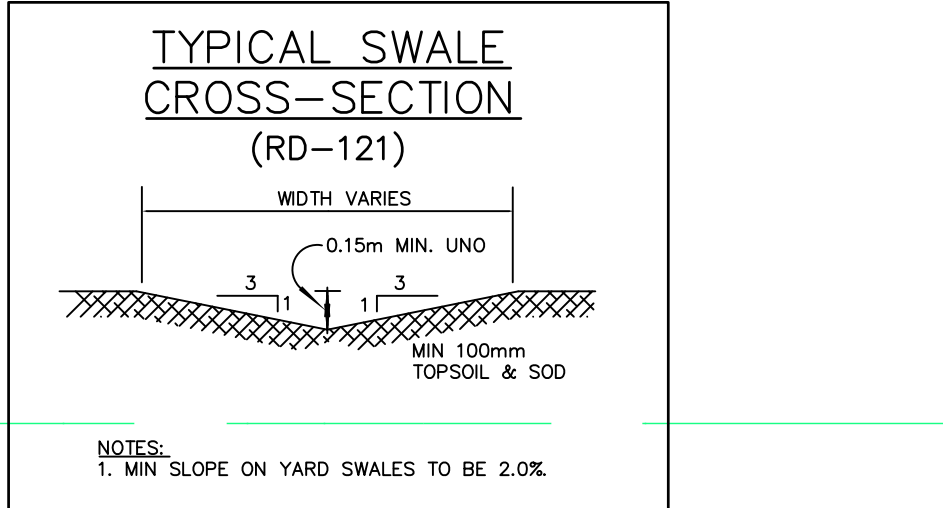


REGIONAL APPROVAL:
REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____
DATED: _____

INFRASTRUCTURE PLANNING & POLICY

The Applicant show be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-826-6032). Furthermore, all water quality tests must be completed to Halton Region's satisfaction, before the water supply can be turned on.



Tree Protection and Preservation
Specification No. 5512A

Detail TP-1 - Tree Protection Detail.

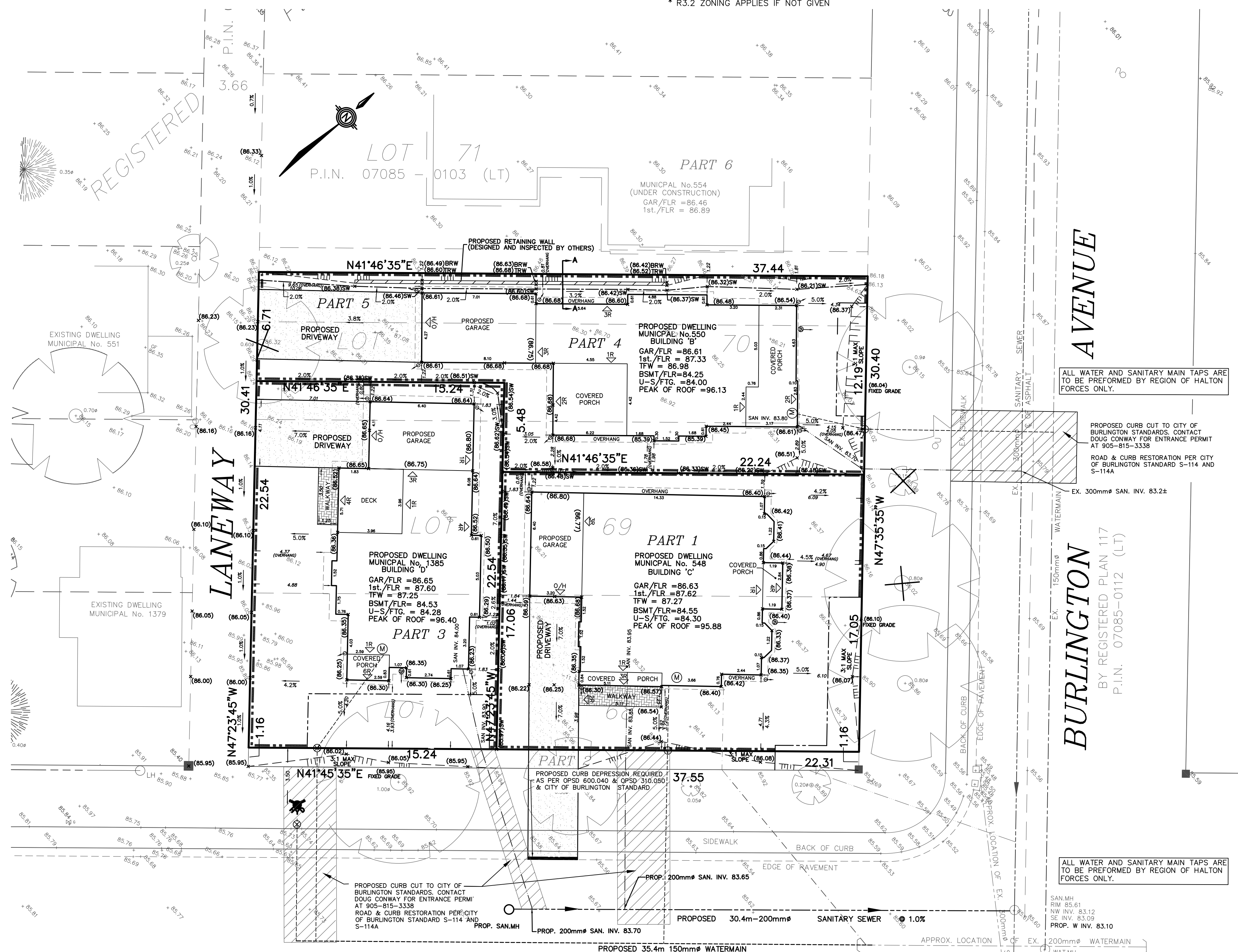
Trunk Diameter (DBH) 1	Minimum Tree Protection Zone (MTPZ) Diameter Required 2	Critical Root Zone (CRZ) Distance 3
<10 cm	1.8 m	1.8 m
11-40 cm	2.4 m	4.0 m
41-50 cm	3.0 m	5.0 m
51-60 cm	3.6 m	6.0 m
61-70 cm	4.2 m	7.0 m
71-80 cm	4.8 m	8.0 m
81-90 cm	5.4 m	9.0 m
91-100 cm	6.0 m	10.0 m

NOTES:

1. The roots of a tree extend from the trunk to approximately 2/3 times the distance of the drip line.
2. Diameter at breast height (DBH) is the measurement of tree trunk taken at 1.4 metres above ground.
3. Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree back towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.
4. Where work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 8 of this specification.

TREE PROTECTION BARRIER

1. The required barrier is a 1.2 metre (4 ft) high orange plastic web fencing on 2" x 4" posts. Where orange plastic web fencing is not available, a reflective safety fence with reflective tape can be used.
2. Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The barriers shall be maintained intact and in good repair throughout the duration of construction operations with breaks and unsupported sections repaired immediately. Tree protection may be removed prior to the completion of construction without written authorization from the City of Burlington.
3. All supports and bracing used to safely secure the barrier should be located outside the MTPZ. All supports and bracing should minimize damage to trees.
4. Where snow fill or excavated material must be temporarily located near a MTPZ, a wooden barrier with silt fencing must be used to ensure no material enters the MTPZ.
5. No materials or fill may be stored within the MTPZ.
6. Equipment or vehicles shall not be operated, parked, repaired, or refueled within the MTPZ.
7. No construction activity, grade changes, or backfilling or excavations of any kind is permitted within the MTPZ without written authorization from the City of Burlington.
8. A hand-drawn Minimum Tree Protection Zone sign (see Detail TP-3 - Minimum Tree Protection Zone Sign) must be attached to the side of the Tree Protection Zone sign and be visible by persons entering the site. Minimum size shall be 10" x 14".



CAROLINE STREET

BY REGISTERED PLAN 117
P.I.N. 07085-0123 (LT)

A. NOUWENS & ASSOCIATES INC. 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1 (905) 529-6316 (905) 529-4314 1-800-824-6224 FAX: (905) 529-6851 E-MAIL: AN@ASHENHURSTNOUWENS.COM

COMMITTEE OF ADJUSTMENT

MEETING #7

AGENDA

APRIL 28, 2021

HEARING NO. 4 - 5:30 P.M.

File
540-02-A-034/20

APPLICANT: Maurice Desrochers

PROPERTY: 1385 Caroline Street
PLAN 117 PT LOTS 68, 69 RP 20R20311 PART 3
City of Burlington - Regional Municipality of Halton

VARIANCES: The applicant is proposing the construction of a two-storey detached dwelling.

1. To permit lot coverage of 33.3% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
2. To permit floor area ratio of 0.65:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.
3. To permit a front yard setback abutting Caroline Street of 4.1 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling with attached garage.
4. To permit a front yard setback abutting Caroline Street of 3.4 m instead of the minimum required 5.35 m (6.0 m - .65 m encroachment) for a proposed roofed over porch including steps and overhang.
5. To permit a rear yard setback of 1.2 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage.
6. To permit a 3.8 m street side yard setback abutting a public laneway instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage including window wells.
7. To permit an east side yard setback of 1.1 m instead of the minimum required 1.2 m for a proposed roofed over patio.

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**STAFF REPORTS:****PLANNING AND BUILDING DEPARTMENT COMMENTS****Committee of Adjustment**

There are two previous minor variance applications on record for this property.
There is one land division application on record for this property.

File No. B-015/15 – Approved

- Severance of existing lot to create 2 new lots resulting in total of 3 lots

File No. A-057/15 Building D – Approved

1. To permit a lot area of 343.0 sq m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot area of 425.0 sq m to facilitate a proposed land severance.

File No. A/2016 – Lapsed – the application was approved but the conditions were not met within the two year period.

1. To permit a front yard setback abutting Caroline Street of 4.3 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling.
2. To permit a front yard setback abutting Caroline Street of 3.2 m instead of the minimum required 5.35 m (6.0 m - .65 m = 5.35 m) for a proposed roofed over porch including overhangs and stairs.
3. To permit a rear yard setback of 1.2 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling.

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4. To permit lot coverage of 33% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
5. To permit a building height of 10.2 m instead of the maximum permitted 10 m for a proposed two storey detached dwelling.
6. To permit an east side yard encroachment of 0.60 m instead of the maximum permitted projection of 0.50 m from the wall of the building for proposed overhangs/ornamental projection.

Date: November 24, 2020

Prepared By: Shawna Houser CPT

Zoning

The subject property is zoned DRL, Downtown Residential Low Density Zone, and is in a designated area for lot coverage, under Zoning By-Law 2020, as amended. The DRL zone permits a detached dwelling subject to R3.2 zone regulations. The R3.2 zone requires, among other things, the following:

4. R1, R2, R3 ZONE REGULATIONS

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R3 ZONES						
R3.2	15 m	425 m ²	6 m	9 m (c)	(b)	4.5 m

Footnotes to Table 2.4.1

- b) With attached garage or carport:
 - (iii) One or one and a half storey side: 1.2 m
 - (iv) Two or more storey side: 1.8 m

c) On a corner lot the rear yard may be **4.5 m**.

2.13 ENCROACHMENT INTO YARDS

2.13.1 Every part of a required yard shall be unobstructed with respect to the following encroachments:

- (b) The following obstructions may project **65 cm** maximum into a required yard:

A roofed-over or screened but otherwise unenclosed 1-storey porch

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4.2 LOT COVERAGE

Table 2.4.3

Dwelling Type	Dwelling with Attached Garage	Dwelling without Attached Garage
All Dwellings in Designated Areas (b) (c)	25% for all other dwelling types including accessory buildings	17% for all other dwelling types plus 8% for accessory buildings

Footnotes to Table 2.4.3

- (e) One accessory building less than 10 m² and less than 2.5 m in height shall be exempt from the lot coverage requirements of Table 2.4.3.
- (f) Designated Areas are shaded on ZONING MAPS in Part 15.

4.5 FLOOR AREA RATIO

(b) A maximum floor area ratio of **0.45:1** shall apply to all properties in Designated Areas for Lot Coverage.

Floor Area Ratio – Low Density Residential

The mathematical relationship between the floor area of a dwelling and its lot area determined by dividing the floor area of a building (including attached garage and stair case) by the net area of that lot.

2.3 PATIOS, DECKS, BALCONIES, AND PORCHES – RESIDENTIAL

2.3.1 Patios, as defined in Part 16, are permitted in all zones.

- (a) Patio roofs shall be subject to the yard and setback regulations contained in Tables 1.2.1 and 1.2.2

Table 1.2.1

Regulations for Decks associated with Detached, Semi-Detached, Duplex, Triplex, Fourplex, and Street Townhouse Dwelling Units			
Regulation	Deck Requirements		
	Over 60 cm to 1.2 m High	Over 1.2 m High	
		Up to 15 m ²	Over 15 m ²

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Maximum Deck Area (a)	no maximum	15 m ²	30 m ²
Permitted in a Front Yard	no	no	no
Permitted in a Rear Yard	yes	yes	yes
Permitted in a Side Yard	yes	yes	yes
Setback from a Street Line	3 m	4.5 m	6 m
Setback from a Rear Lot Line	1.8 m	4.5 m	6 m
Setback from a Side Lot Line	1.2 m (b)	1.8 m (b)	3 m
Maximum coverage (c)	50% of the yard area in which decks are located		

Footnotes to Table 1.2.1

- (a) Total combined area of all platforms over 1.2 m high excluding stairs.
- (b) Where a side lot line extends from a common wall dividing attached dwelling units the setback shall not apply.
- (c) Coverage means the surface area of a yard which may be covered by decks.

The applicant is proposing the construction of a two-storey detached dwelling. The following variances are required to facilitate the proposed development.

Variances required:

1. To permit lot coverage of 33.3% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
2. To permit floor area ratio of 0.65:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.
3. To permit a front yard setback abutting Caroline Street of 4.1 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling with attached garage.
4. To permit a front yard setback abutting Caroline Street of 3.4 m instead of the minimum required 5.35 m (6.0 m - .65 m encroachment) for a proposed roofed over porch including steps and overhang.
5. To permit a rear yard setback of 1.2 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage.
6. To permit a 3.8 m street side yard setback abutting a public laneway instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage including window wells.
7. To permit an east side yard setback of 1.1 m instead of the minimum required 1.2 m for a proposed roofed over patio.

Condition:

1. A consolidated pre-building permit application is required.

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Notes:

1. Land severance approved under file 545-02-B15/015/B.
2. Demolition permit issued on July 23, 2019 under file 19/013766.
3. Variance approved under file 540-02-A57/15 to permit a lot area of 343 m² to facilitate the proposed lane severance.
4. Variances approved under file 540-02-A157/16 lapsed.
5. Laneway in rear is considered a public road as per Legal Department. City owned laneway deemed public laneway under Section 26 of Municipal Act and therefore property is considered a corner lot.
6. The variances identified are based on the plans provided. Any changes to the plans resulting in additional variances will be the responsibility of the applicant to obtain.

Date: November 21, 2020Prepared By: Tina Vassalli**Site Planning**

The subject property is located on the north side of Caroline Street, east of the lane way off Caroline Street, and within the St. Luke's Precinct. The site is currently vacant. The applicant is proposing to construct a new two-storey detached dwelling, with an attached garage and front covered porch. In order to facilitate the proposed development, variances are being requested for setbacks, lot coverage and floor area ratio.

Staff notes in 2016, a consent application with variances was considered by the Committee of Adjustment under file number B-015/15. The consent and variance related to lot area was approved. In 2017, variances were considered by the Committee under file number A-057/15 related to house construction. The variances were approved, however their approval lapsed as a result of the applicant not obtaining a Building Permit within the specified timeline of 2 years from the end of the approval appeal period. Staff notes that the consent approval did not lapse, and therefore the variance for a lot area of 3743 sq m is permitted for the subject property. As a result of the lapsing of the variance related to house construction, the applicant has resubmitted a minor variance application to reinstate those approvals. Staff notes that the previous minor variance application was received in November 2016 and therefore reviewed against a set of zoning regulations that have since that been replaced with new zoning regulations approved by Council to better manage residential infill development. The subject application is being reviewed against the currently applicable regulations contained within Zoning By-Law 2020, as amended. The currently applicable regulations became in effect on December 19, 2016. Staff opinion on the subject variances is based only on applicable regulations.

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1) Official Plan Designation:

Does the proposed minor variance from the Zoning By-law maintain the general intent and purpose of the Official Plan?

No

The subject property is designated 'Mixed Use Centre – St. Luke's Neighbourhood Precinct' within the City's Official Plan. The Official Plan requires new development to be compatible with its surroundings. Within the St. Luke's Neighbourhood Precinct, special consideration is given to the compatibility of buildings in terms of height, setbacks, massing, design, and community features.

Downtown Mixed-Use Centre

The subject property is located within the Downtown Mixed-Use Centre. Part III Section 5.5, Subsection 5.5.1 Principles states the following:

- b) As a Mixed-Use Centre, the Downtown shall take advantage of the unique qualities that set it apart from all other areas of the City and contribute to a distinct identity. These qualities include the waterfront location and related activities, historic buildings, streetscapes and development pattern, cultural activities, pedestrian orientation, and recognition as a centre of business and civic activity.

Section 5.5.4 The St. Luke's and Emerald Neighbourhood Precincts include the following:

- b) To preserve the stable residential and heritage character of these neighbourhoods, and to ensure that any redevelopment is compatible with the existing character of the neighbourhoods.
- e) All development and redevelopment shall be compatible with the existing character of these neighborhoods with respect to such matters as heights, setbacks, massing, design and community features.

The Official Plan also requires new development to be compatible with the surrounding area. Part II, Section 6.5 a) of the Official Plan states that "*The density, form, bulk, height, setbacks, spacing and materials of development are to be compatible with its surrounding area.*"

The Official Plan policies are implemented via specific zoning regulations, which staff must consider as part of the assessment of Official Plan policies. The proposed development introduces a building form that does not achieve the enhanced level of compatibility with the surrounding neighbourhood context, as expressed by the Official Plan and defined by zoning regulations. St. Luke's Precinct, and more specifically the

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area immediately surrounding the subject property, is characterized primarily by mature one- to two-storey dwellings and some redeveloped two-storey dwellings, with open, green yards and ample vegetation. The proposed reductions to the setbacks is deemed to negatively impact the established arrangement of house setbacks and lot spacing. The reduced setbacks and increased built form (lot coverage and floor area ratio) pose negative impacts of massing and overdevelopment to the surrounding area, in contrast to the current development standards for this area.

Staff notes that Site Engineering has identified technical concerns related to Variance #1 (lot coverage) due to the total impervious lot coverage/hard surface. This technical matter requires consideration beyond design compatibility as it may result in physical impacts of water management between adjacent sites.

Given the above, staff is of the opinion that the requested variances do not maintain the general intent and purpose of the City's Official Plan.

2) Zoning By-law Designation:

Does the proposed minor variance from the Zoning By-law maintain the general intent and purpose of the Zoning By-law?

No

The subject property is zoned DRL, Downtown Residential Low-Density, under the City's Zoning By-Law 2020, as amended. The DRL zone permits a single detached dwelling subject to the R3.2, Low-Density Residential, regulations, as per Table 6.2.2, footnote c under the Zoning By-Law. The applicant is requesting several variances related to setbacks, lot coverage and floor area ratio.

The site is located in an established neighbourhood/designated lot coverage area. Established neighbourhoods utilize enhanced zoning regulations (such as Floor Area Ratio limits, house depth etc) which were approved by Council in December 2016 to better manage the introduction of new development within existing neighbourhoods. These enhanced regulation better reflected Council's expectations related to development and better defined the policies contained with the Official Plan. It is important for planning staff to ensure that new development does not pose negative impacts of overbuilding or inappropriate massing within these neighbourhoods and to ensure that new development maximizes compatibility with existing development in the area.

These enhanced regulations also prevent the overbuilding of lots and the inappropriate relationship between spacing and mass that can often result. Lot coverage regulations ensure there is adequate open space around a structure to provide the desired balance between built form and landscape features. Similarly, the intent of setback regulations is to ensure that there is an appropriate and consistent separation between dwellings, to

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promote streetscape compatibility, and to mitigate adverse effects of massing to the surrounding streetscape and adjacent properties. Together, these enhanced regulations better define Council's expectations regarding development in this area.

Staff notes that Site Engineering has identified technical concerns related to Variance #1 (lot coverage), which is a result of an increased lot coverage and FAR, as well as decreased setbacks.

The proposed development is in conflict with the updated zoning regulations that guide new development within established neighbourhoods, and also conflicts with Council expectations as expressed in the 2016 package of enhanced zoning regulations for low density residential development.

Staff is of the opinion that the proposed development has not taken current zoning requirements into account and therefore poses massing, building siting, setbacks and spacing that are no longer anticipated under the site zoning. As a result, the development includes reduced setbacks, increased floor area ratio and coverage which pose negative impacts of massing and overdevelopment to the surrounding streetscape and adjacent properties. The structure has not been designed in consideration of currently applicable zoning regulations. Staff is of the opinion that the requested variances do not maintain the general intent and purpose of the City's Zoning By-Law.

3) Desirability:

Is the proposed minor variance from the Zoning By-law desirable for the appropriate development or use of the land, building or structure?

No

Staff is of the opinion that the requested variances do not facilitate development that is deemed compatible with the surrounding streetscape or maintain Council's expectations around new development in established neighbourhoods. The requested variances do not promote compatible setbacks or spacing within the St. Luke's Precinct and pose negative impacts of massing and overbuilding when assessed against applicable zoning regulations. Furthermore, Site Engineering staff has identified technical concerns related to Variance #1 (lot coverage) due to the total impervious lot coverage/hard surface. As such, staff is of the opinion that the requested variances are not considered desirable. Staff encourage the applicant to consider these comments and revise the proposed development to better reflect the intent of the City's Official Plan and Zoning By-Law.

4) Minor in Nature:

Is the proposed minor variance from the Zoning By-law considered minor in nature?

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No

Staff is of the opinion that the requested variances are not considered minor in nature as the proposed development exceeds the Zoning By-law and Council's expectations around new-development in established neighbourhoods. The variances foster development that is considered to be inconsistent with the Zoning By-law expectations around building size, siting, massing and site spacing.

Cumulative Effects of Multiple Variances and Other Planning Matters:

Staff is of the opinion that the requested variances would pose a cumulative negative impact from the overall proposed development.

Recommendation:

Staff has reviewed the requested variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and objects to the variances requested.

Date: February 17, 2021Prepared By: Taylor MacDonald-Plummer**Site Engineering**

Actual road width is 18.83m and deemed road width is 20m. However, since a previous road widening of 1.16m has already been conveyed, no road widening required for this property.

Date: June 12, 2020Prepared By: A. Capone

Site Engineering has reviewed the proposed minor variances and has no objection to Variances 2 thru 6 inclusive, however, objects to Variance 1. When reviewing the entire impervious coverage of the lot which includes the dwelling (garage included), covered porches, deck and driveway, the impervious lot coverage exceeds 53%. In these historical/traditional neighbourhood's, stormwater management was controlled on the basis of a maximum impervious lot coverage of 45%. In this instance, the proposed increased stormwater runoff would be detrimental for this area and therefore Site Engineering would consider this an over-build in relation to the size of the lot.

Date: December 4, 2020Prepared By: A. Capone**Building**

1. A Building Permit is required for all building construction.
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2012.

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NOTE: no unprotected openings permitted in walls less than 1.2m to property line. (OBC 9.10.15)

Date: December 16, 2020Prepared By: Kathy Pavlou**Transportation Planning**

Transportation Services has no concerns with this Minor Variance Application.

Date: November 25, 2020Prepared By: Trevor Clark**Finance****Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: Nov 25, 2020Prepared By: L. Bray

NOTICE OF PUBLIC HEARING

Maurice Desrochers, the owner of 1385 Caroline St. Burlington has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **1385 Caroline St. Burlington** (see map).

The applicant proposes to construct a two storey detached dwelling. This proposal results in the following variances:

1. To permit lot coverage of 33.3% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
2. To permit floor area ratio of 0.65:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.
3. To permit a front yard setback abutting Caroline Street of 4.1 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling with attached garage.
4. To permit a front yard setback abutting Caroline Street of 3.4 m instead of the minimum required 5.35 m (6.0 m - .65 m encroachment) for a proposed roofed over porch including steps and overhang.
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7. To permit an east side yard setback of 1.1 m instead of the minimum required 1.2 m for a proposed roofed over patio.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the 2021 Meeting Agenda tab at **Burlington.ca/coa on or after Wednesday WEDNESDAY APRIL 21, 2021,**

City Council approved Committee of Adjustment Hearings to be held electronically, with all Committee members, staff, applicants and delegations participating in the meetings remotely. The Committee of Adjustment will meet virtually to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY APRIL 28, 2021,

This application is scheduled to be heard at or after **5:30 pm.**

How to participate if I have comments or concerns?

Submit written correspondence

You can send your written comments (photos, plans, etc) regarding the application by e-mail (**preferred**) to **committeeofadjustment@burlington.ca** with the subject line to read "Comments_Your Name_File No._Address of the Property" OR by regular mail addressed to the Secretary-Treasurer noted below. Include your name, address, application number and address of the property for which you are providing comments. **To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.**

City of Burlington Committee of Adjustment - Community Planning
Attn: Amanda D'Angelo, Secretary-Treasurer
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

Participate in the electronic hearing by webinar or telephone:

Pre-register as a delegate by contacting the Secretary-Treasurer noted below by email or telephone no later than 12:00 p.m. (noon) the day before the hearing date. You are encouraged to pre-register as a delegate as soon as possible to facilitate an orderly registration process.

All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance as a backup should any technology issues occur. Pre-registered delegates will be provided with all applicable access codes and instructions to enter the electronic hearing and will also be asked to test their audio/video capabilities prior to the hearing.

Watch or listen to the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active just before **5:30** p.m.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal Hearing. The Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing.

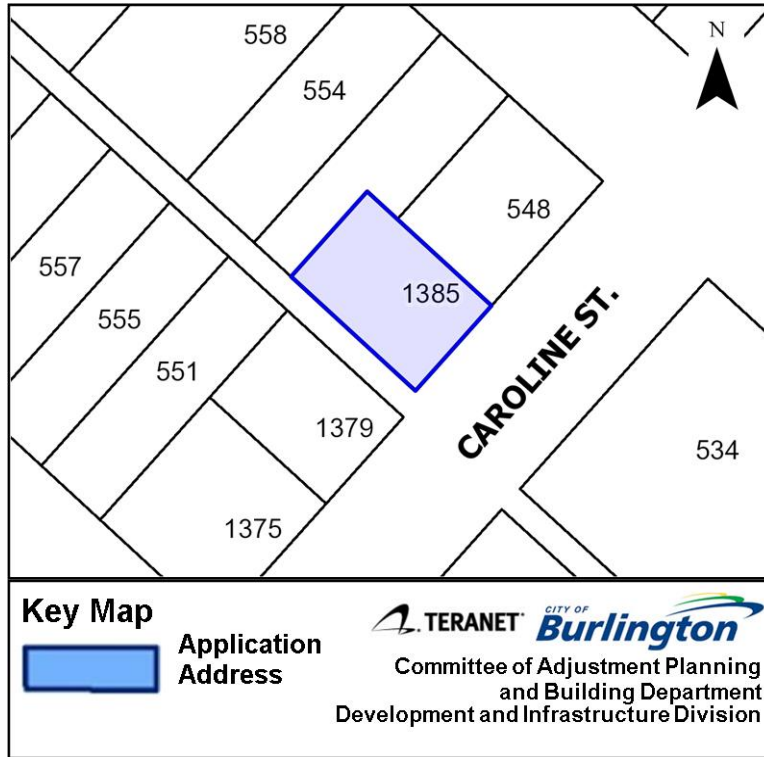
Yours truly,



Amanda D'Angelo
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



GENERAL:

1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMAINS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
3. ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
4. BUILDING ENVELOPES SHOWN ARE LOCATED BASED ON ZONING REQUIREMENTS.
5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUTS PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELIEF OF SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQ'D)
6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
7. ALL DISTURBED GRASSED AREAS MUST BE REINSTATED WITH 150 mm TOPSOIL AND NURSERY SOD PER OPSS 803.
8. ALL RESTORATION MUST BE COMPLETED TO REGION OF HALTON AND CITY OF BURLINGTON STANDARDS.
9. ALL CATCH BASINS ADJACENT TO THE SITE SHALL BE PROTECTED WITH SILT SACS PER TYPICAL DETAIL THIS DRAWING.
10. TREE PROTECTION SHALL BE ERRECTED ACCORDING TO CITY OF BURLINGTON TREE PRESERVATION GUIDELINE SS112A.
11. INSPECTION AND/OR EXCAVATION INSIDE TREE HOARDING MUST BE UNDERTAKEN WITH THE USE OF A HYDRO-EXCAVATION EQUIPMENT.

ROADWORKS:

1. ALL ROAD REINSTATEMENT MUST BE IN ACCORDANCE WITH CITY OF BURLINGTON STANDARD DRAWING S-114 AND S-114A.

PRIVATE DRAINS:

1. BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO LANDSCAPED AREAS VIA SPLASH PADS A MIN. OF 0.6m FROM THE BUILDING FACE.
2. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEEPING TILES TO GRADE VIA CONCRETE SPLASH PADS A MIN OF 0.6m AWAY FROM THE FOUNDATION WALL. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO GRADE.

GRADING:

1. LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF BURLINGTON LOT GRADING POLICY.
2. ALL ELEVATIONS ALONG AFFECTED PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
3. ALL IMPORTED FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
4. ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
5. ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
6. ALL DISTURBED BOULEVARD AREAS ARE TO BE REINSTATED WITH 100mm TOPSOIL AND NO. 1 NURSERY SOD IN ACCORDANCE WITH OPSS 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

REGIONAL APPROVAL:

REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____
 DATED: _____
 INFRASTRUCTURE PLANNING & POLICY

The Applicant show be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-825-6032) Furthermore, all water quality tests must be completed to Halton Region's satisfaction, before the water supply can be turned on.

GENERAL GRADING NOTES:

1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SODDED SLOPES (MIN 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
2. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.10m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.ENG.
3. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
4. RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRING CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
5. SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES)
6. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MIN. 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
7. MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
8. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
9. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
10. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7% REVERSE SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
11. GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
12. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM OF 95% SPD, UNLESS OTHERWISE SPECIFIED.
13. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
14. LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
15. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
16. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
17. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER

STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
 18. EXISTING GRAVEL ARE AROUND THE CITY TREE ALONG CAROLINE IS TO BE CAREFULLY REMOVED, TOP SOIL ADDED AND RE-SODDED.

COMPACTION REQUIREMENTS:

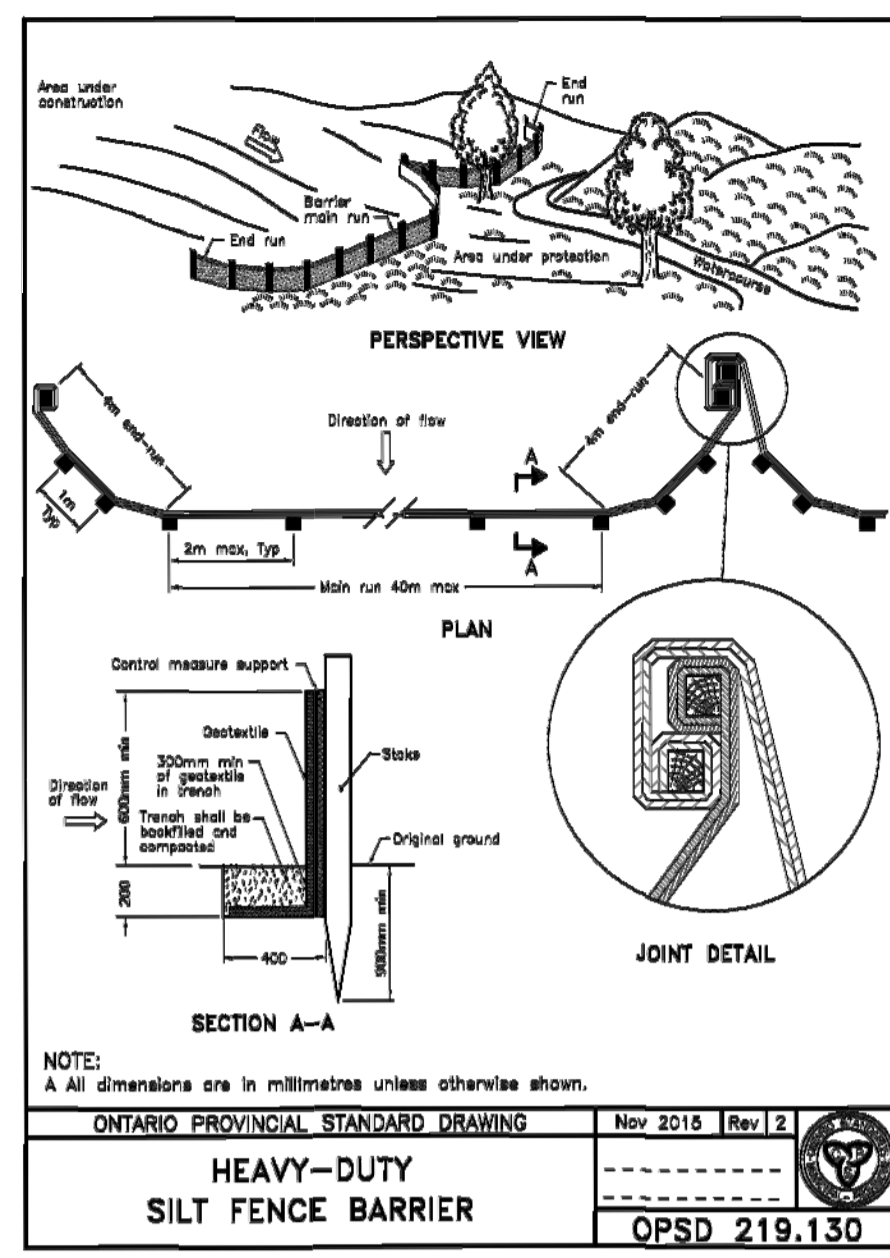
1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPD UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPD.

SILTATION AND EROSION CONTROL:

1. SILT FENCE IN ACCORDANCE WITH OPSD 219.130 SHALL BE PLACED AROUND THE SITE AND AS REQUIRED BY THE CITY OF BURLINGTON AND REGION OF HALTON. SILT FENCE MUST BE INSPECTED FOLLOWING ALL RAIN EVENTS AND MAINTAINED TO THE SATISFACTION OF THE CITY OF BURLINGTON AND THE REGION OF HALTON.

BACKYARD GRADING:

1. DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
2. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
3. THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
4. WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
5. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
6. THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM 2 ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF CONSTRUCTION.
7. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3H:1V)

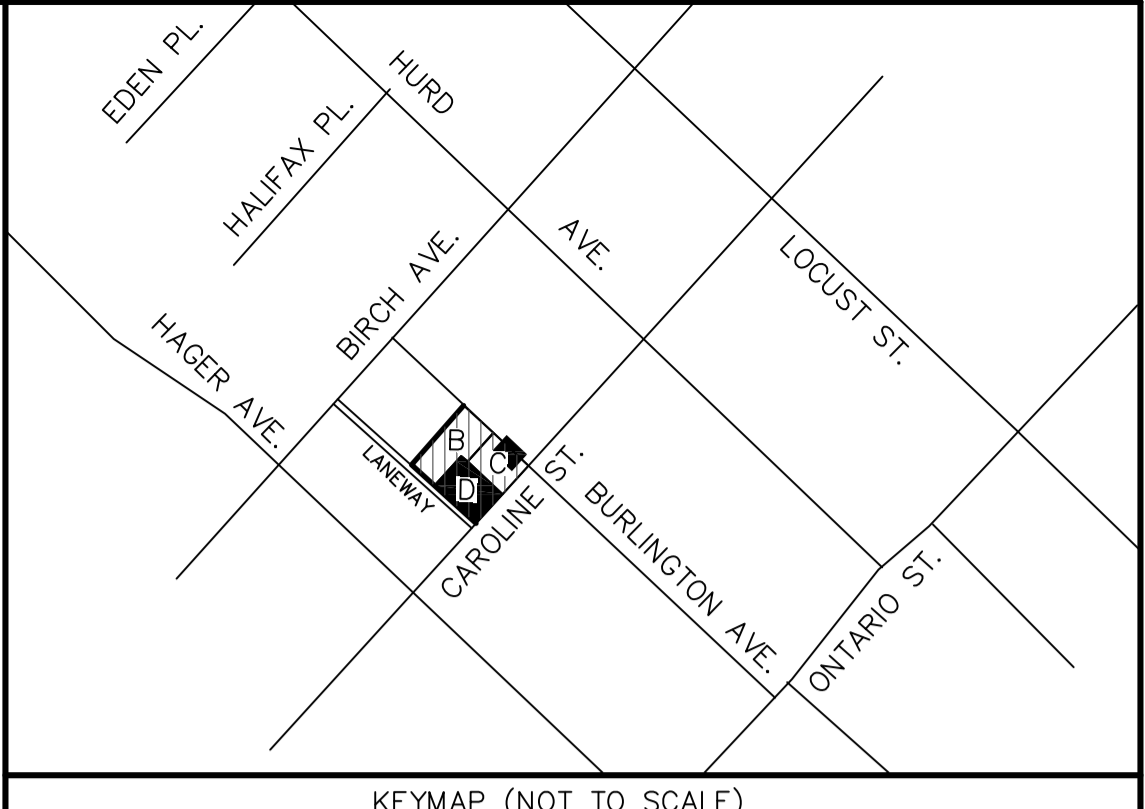
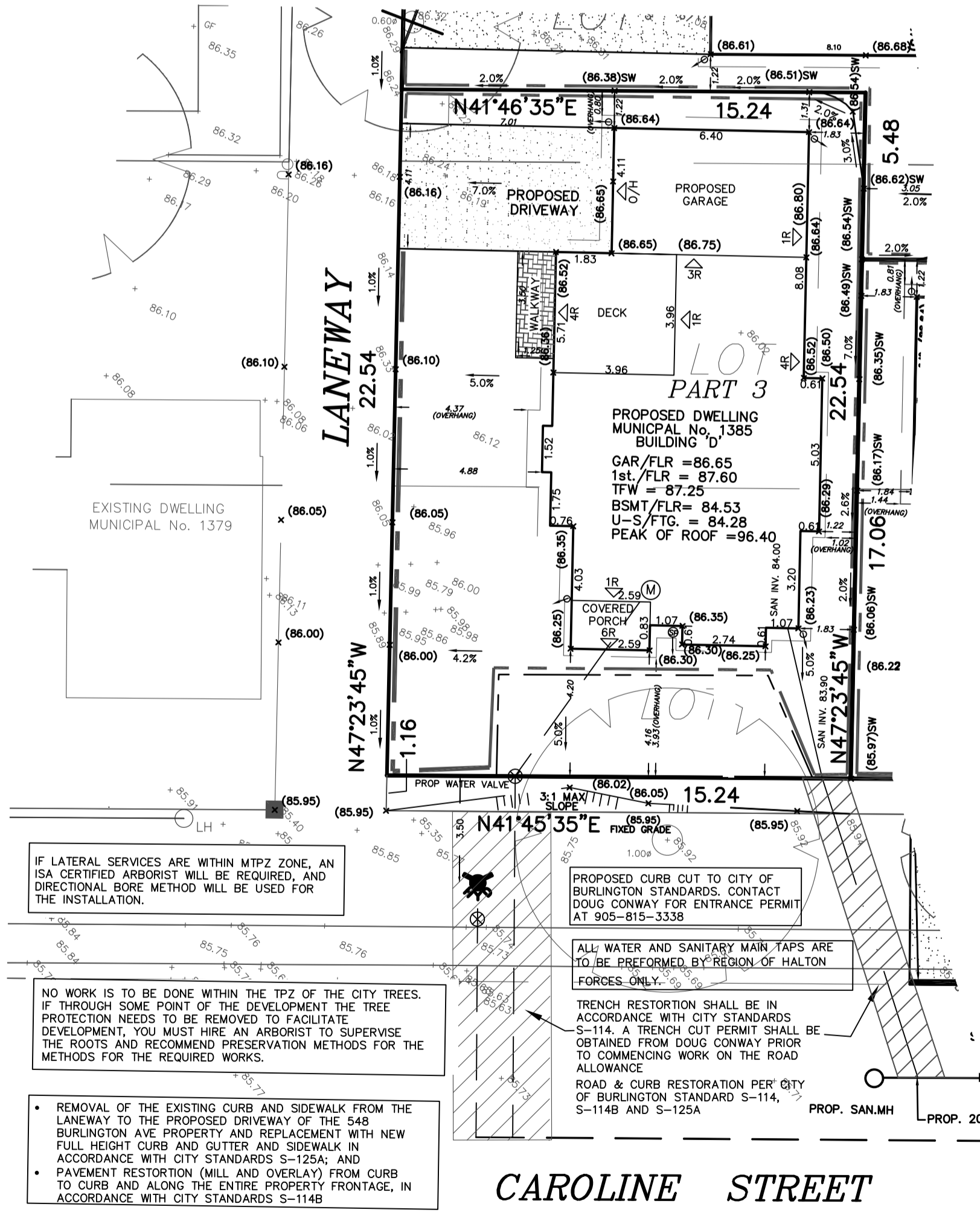
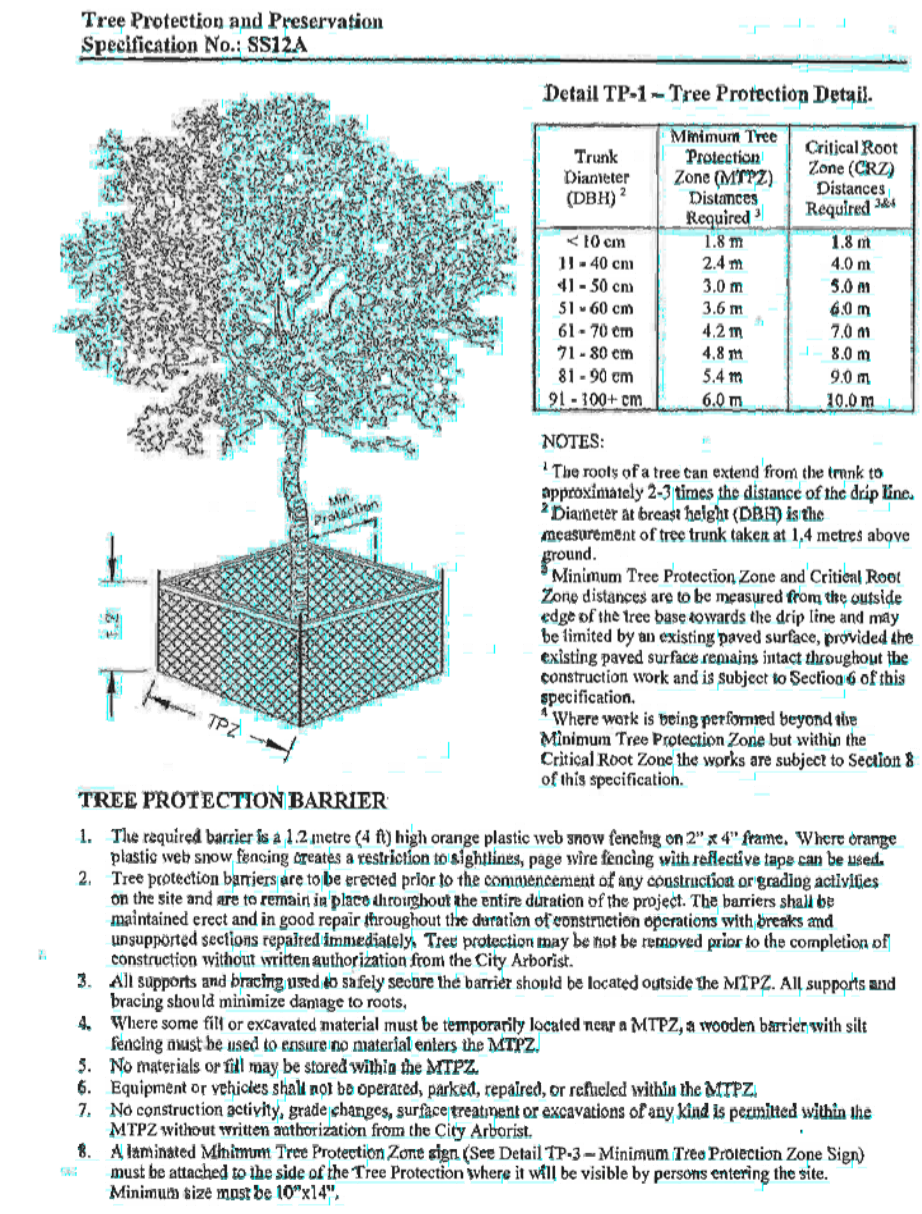
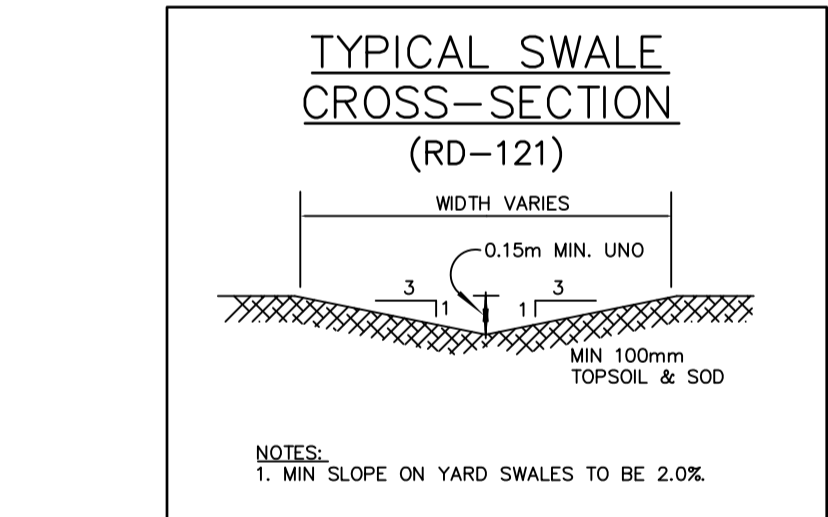
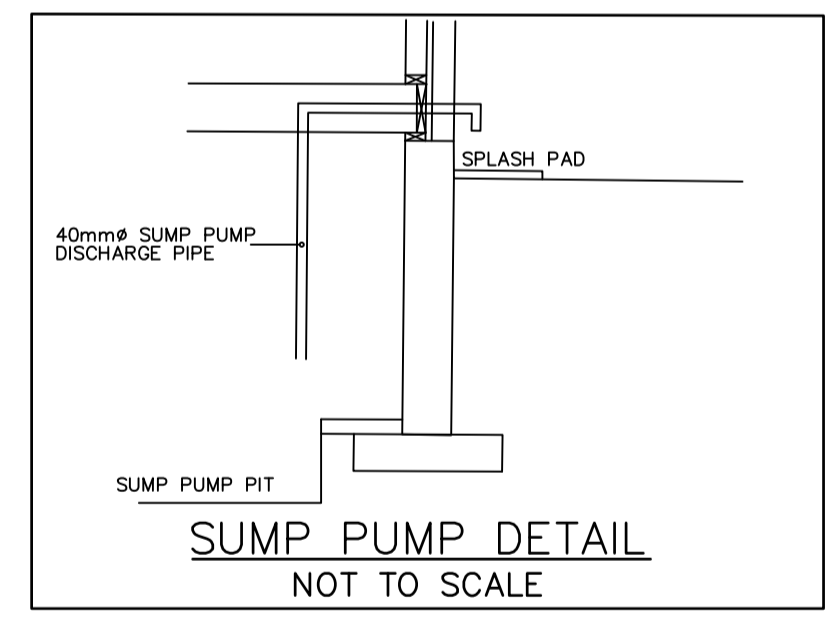


OWNER: MAURICE DESROCHERS
ZONING: DR1
MUNICIPAL ADDRESS: 1383 CAROLINE STREET
LEGAL DESCRIPTION: PART OF LOTS 67,69 & 70, R.P.117
 CITY OF BURLINGTON

LOT FRONTAGE	BUILDING "D"	PROPOSED
15.24	N/A	15.2 m (Min.)
22.54	343 m² (Min.)	343 m² (Min.)
22.54	25% (Max.)	32.6% (Max.)
15.24	6.00 m (Dwelling)	4.2 m
15.24	5.35 m (Overhang)	3.9 m (Overhang)
15.24	4.50 m	1.2 m
15.24	1.20 m	1.2 m (East)
15.24	1.20 m	4.9 m
15.24		4.4 m (Overhang)
15.24	10.0 m	10.18 m
15.24		111.9 m²

LEGEND:
 (93.75) SW PROPOSED SWALE ELEVATION
 93.44 EXISTING ELEVATION
 (93.75) PROPOSED ELEVATION
 4.0% PROPOSED SURFACE FLOW DIRECTION & GRADE
 --- PROPOSED SWALE
 - - - SILT FENCE & LIMIT OF GRADING
 ○ EXISTING TREE
 ⊗ EXISTING TREE TO BE REMOVED
 ▽ PROPOSED ENTRANCE LOCATION
 --- TREE PROTECTION ZONE
 ↻ LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS
 ↻ LOCATION AND DIRECTION OF FLOW FOR SUMP PUMP

* R.3.2 ZONING APPLIES IF NOT GIVEN



LEGEND:

(93.75) SW PROPOSED SWALE ELEVATION
 93.44 EXISTING ELEVATION
 (93.75) PROPOSED ELEVATION
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 ▽ PROPOSED ENTRANCE LOCATION
 --- TREE PROTECTION ZONE
 ↻ LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS
 ↻ LOCATION AND DIRECTION OF FLOW FOR SUMP PUMP

DRAWING NOTE:
 SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM PLAN BY PEARCE SURVEYING INC. DATED JULY 2015.

METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET DIVIDING BY 0.3048.

CAUTION:
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

No.	DATE	BY	DESCRIPTION
4	SEP 26, 2019	AN	REVISED AS PER CITY COMMENTS
3	FEB 10, 2017	EA	REVISED AS PER CITY COMMENTS
2	JAN 30, 2017	EA	REVISED AS PER CITY COMMENTS
1	JAN 17, 2017	EA	ISSUED FOR REVIEW

REVISIONS

ENGINEER'S STAMP

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

PLAN SHOWING PROPOSED SITE & GRADING PLAN ON
 Part of Lots 67,69 & 70, Plan No. 117
 BEING
 1385 CAROLINE STREET
 CITY OF BURLINGTON

AN SINCE 1956 ASHENHURST NOUWENS & ASSOCIATES INC.
 Professional Engineers & Ontario Land Surveyors
 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
 (905) 529-6316 (905) 529-4314 1-800-824-6224
 FAX: (905) 529-6651 e-mail: an@ashenhurstnouwens.com

BENCHMARK:
 LOCAL ELEVATION ARE DERIVED FROM A NAIL IN THE PAVEMENT OPPOSITE No. 4076. HAVING AN ELEVATION OF 100.00m.

DWN BY: EA	CHK BY: DDN	DWG No.
SCALE: 1 : 150		15225 SGP 2
DATE: FEB 10, 2017		

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Cameryn Lanes Building "D"

CONTACT INFORMATION

*PROJECT: CAMERYN LANES
 BUILDER: MAURICE DESROCHERS
 STRUCTURAL ENGINEER: STRICK BALDINELLI & MONIZ LTD.
 519.471.6667 - AARON@SBMLTD.CA
 HVAC DESIGNER: CHRIS & MARIA MISENER
 CMISENERDESIGN@GMAIL.COM*

DRAWING LIST

- A0 - TITLE PAGE
- A101 - BASEMENT & MAIN FLOOR PLAN
- A102 - SECOND FLOOR & ROOF PLAN
- A201 - FRONT & LEFT SIDE ELEVATIONS
- A202 - REAR & RIGHT SIDE ELEVATIONS

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8.26.2019

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Scale AS NOTED

Date Aug. 26, 19

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 1383 Caroline Street
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 L7S 1S1

Drawn By CB
 Approved By JW
 Job Number CAMD

Sheet
A0
 OF 5

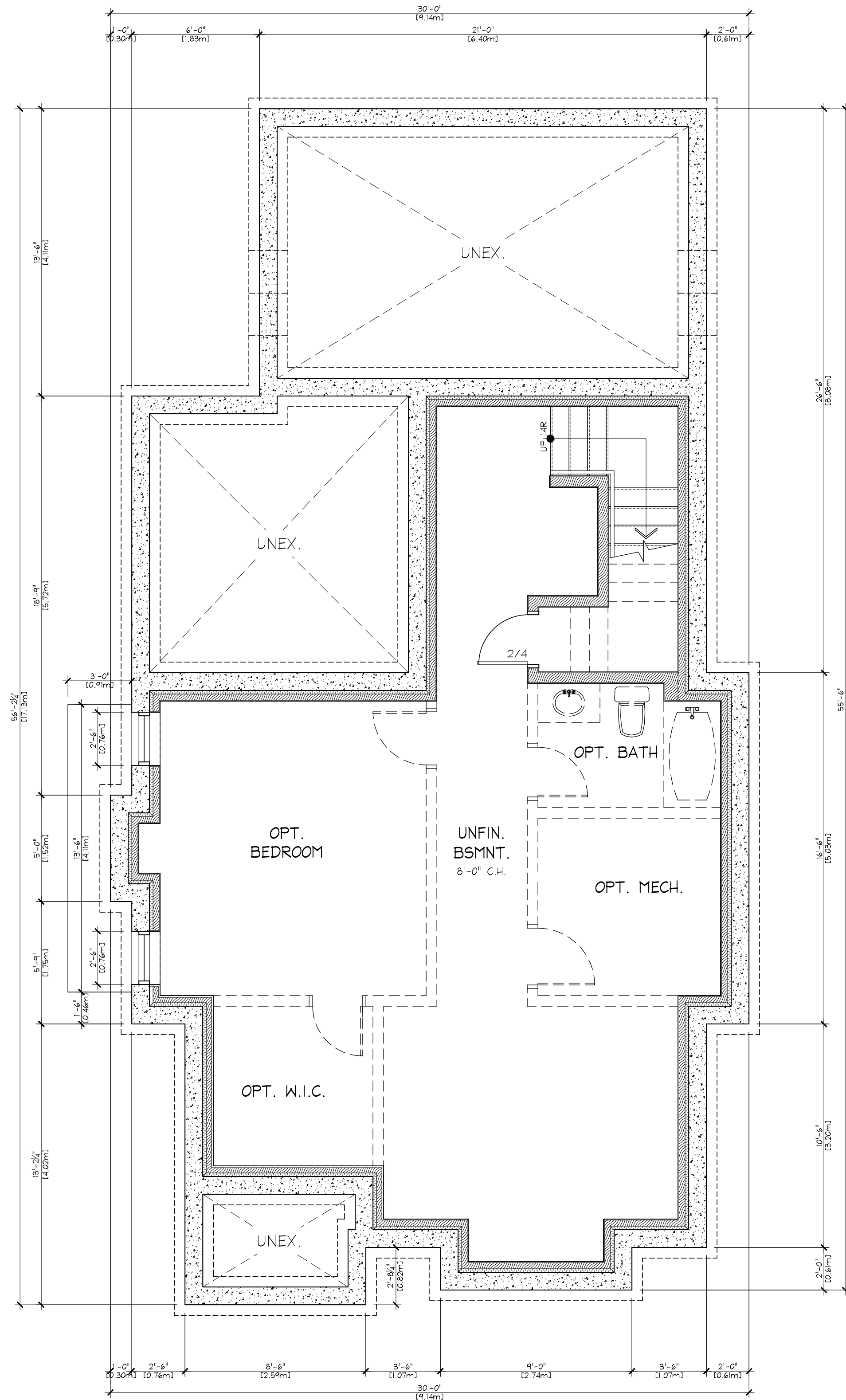
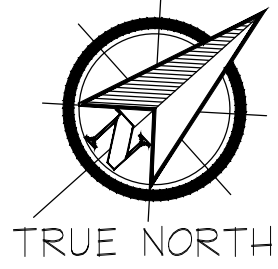
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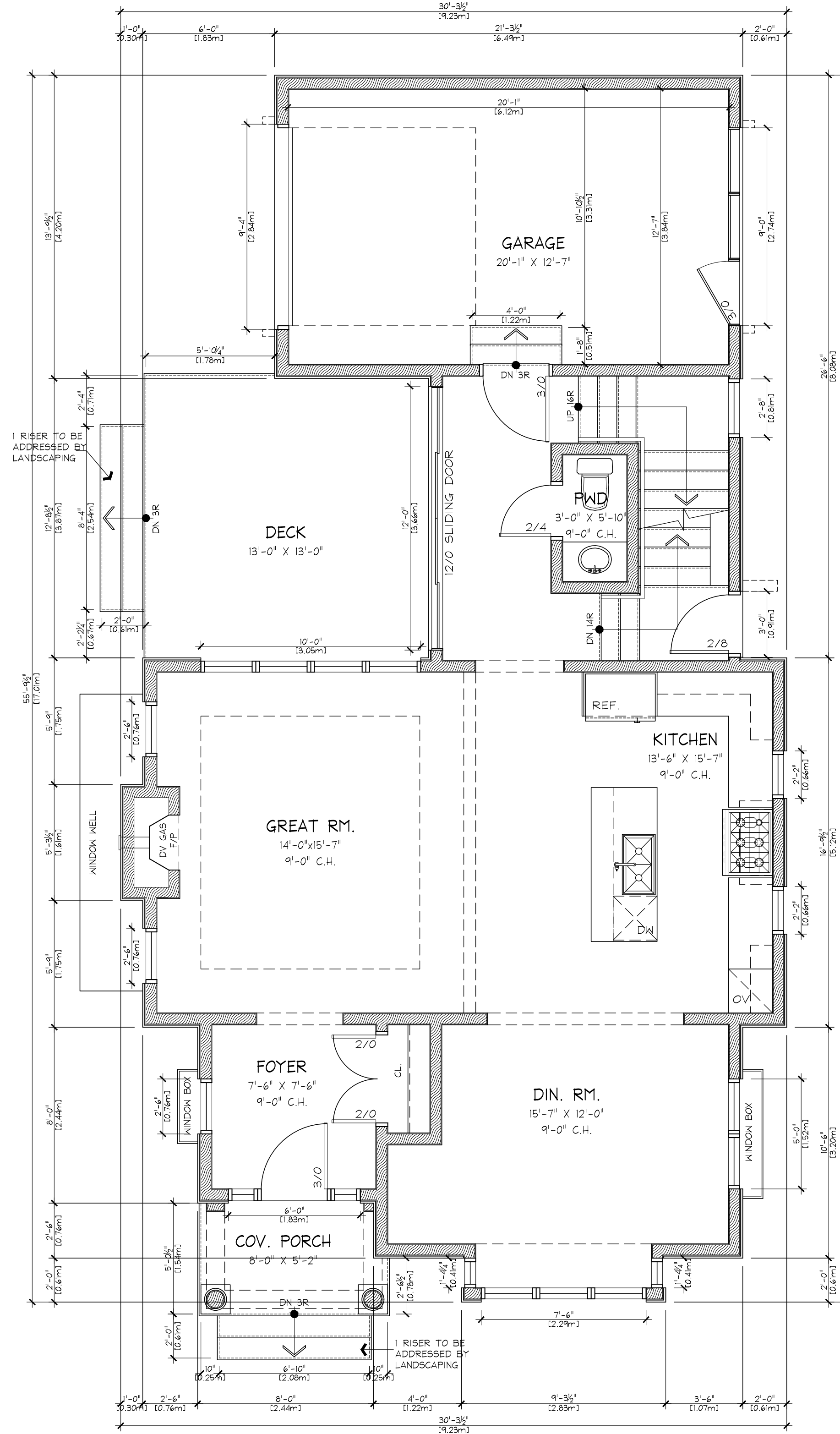
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1 BASEMENT FLOOR PLAN
 A101 1/4" = 1'-0"



2 MAIN FLOOR PLAN
 A101 1/4" = 1'-0"

FIN. FIRST FLOOR AREA: 927.74ft² (86.19m²)
 FIN. 2ND FLOOR AREA: 1148.25ft² (106.67m²)
 TOTAL FIN. FLOOR AREA: 2076.02ft² (192.86m²)

FIN. FIRST FLOOR AREA: 927.74ft² (86.19m²)
 GARAGE AREA: 276.50ft² (25.69m²)
 TOTAL COVERAGE: 1204.27ft² (111.88m²)

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BASEMENT & MAIN FLOOR PLAN
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 Date: Aug. 26, 19

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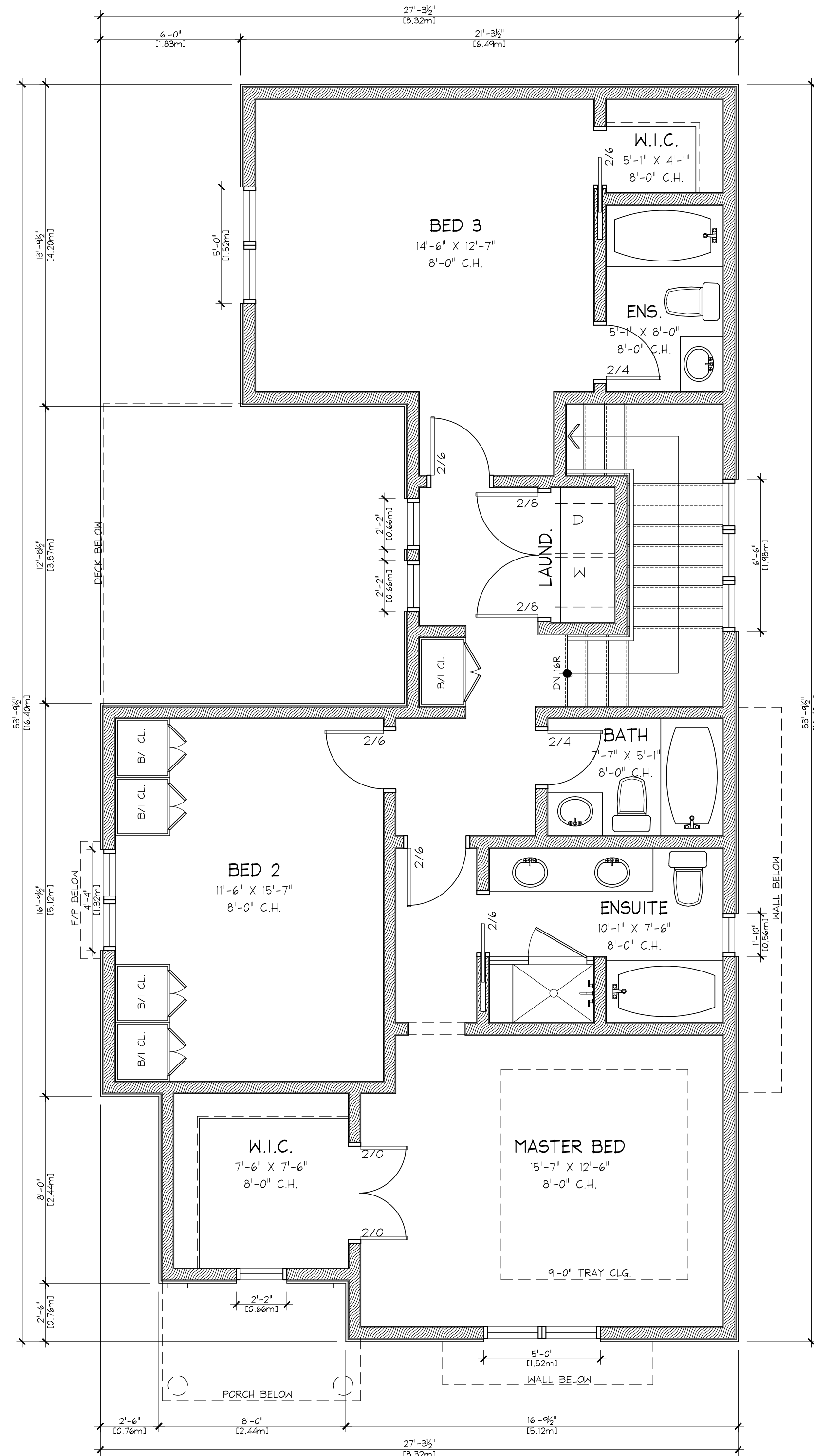
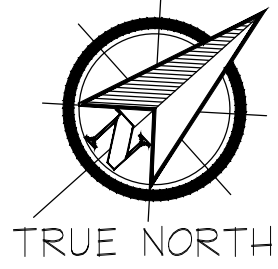
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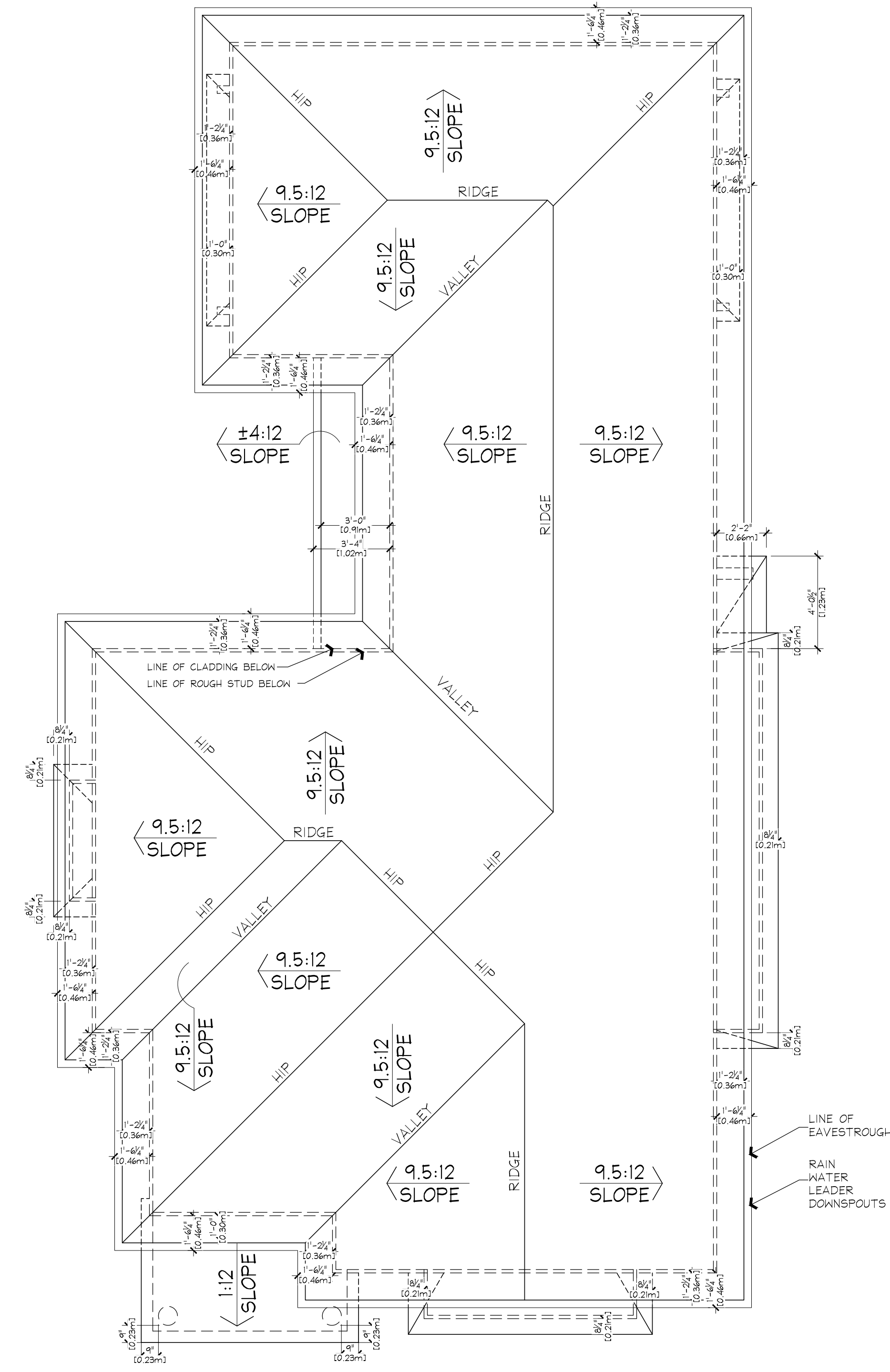
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1 SECOND FLOOR PLAN
 A102 1/4" = 1'-0"



2 ROOF PLAN
 A102 1/4" = 1'-0"

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2ND FLOOR & ROOF PLAN

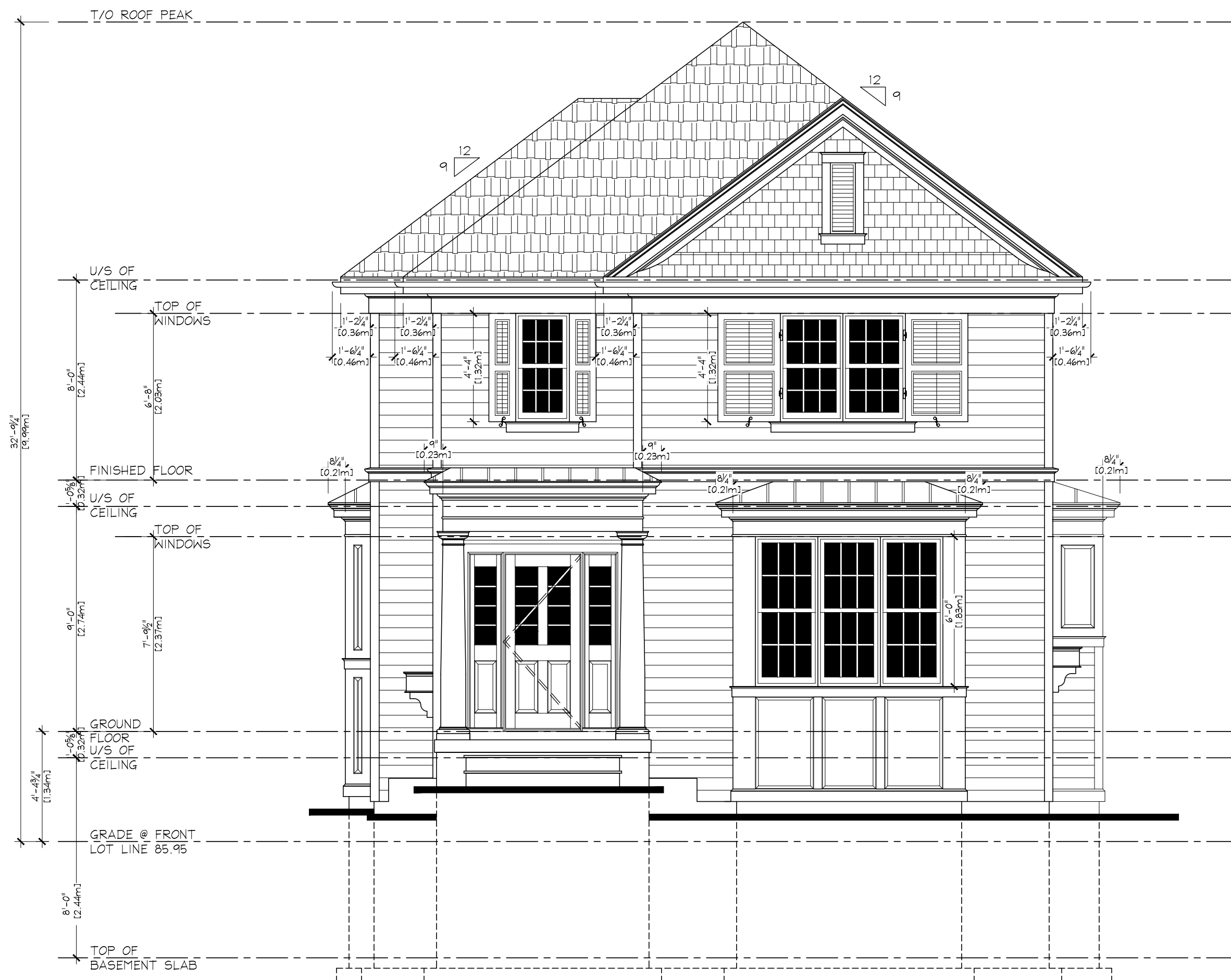
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1 FRONT ELEVATION
 A201 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
 A201 1/4" = 1'-0"

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FRONT & LEFT SIDE ELEVATIONS

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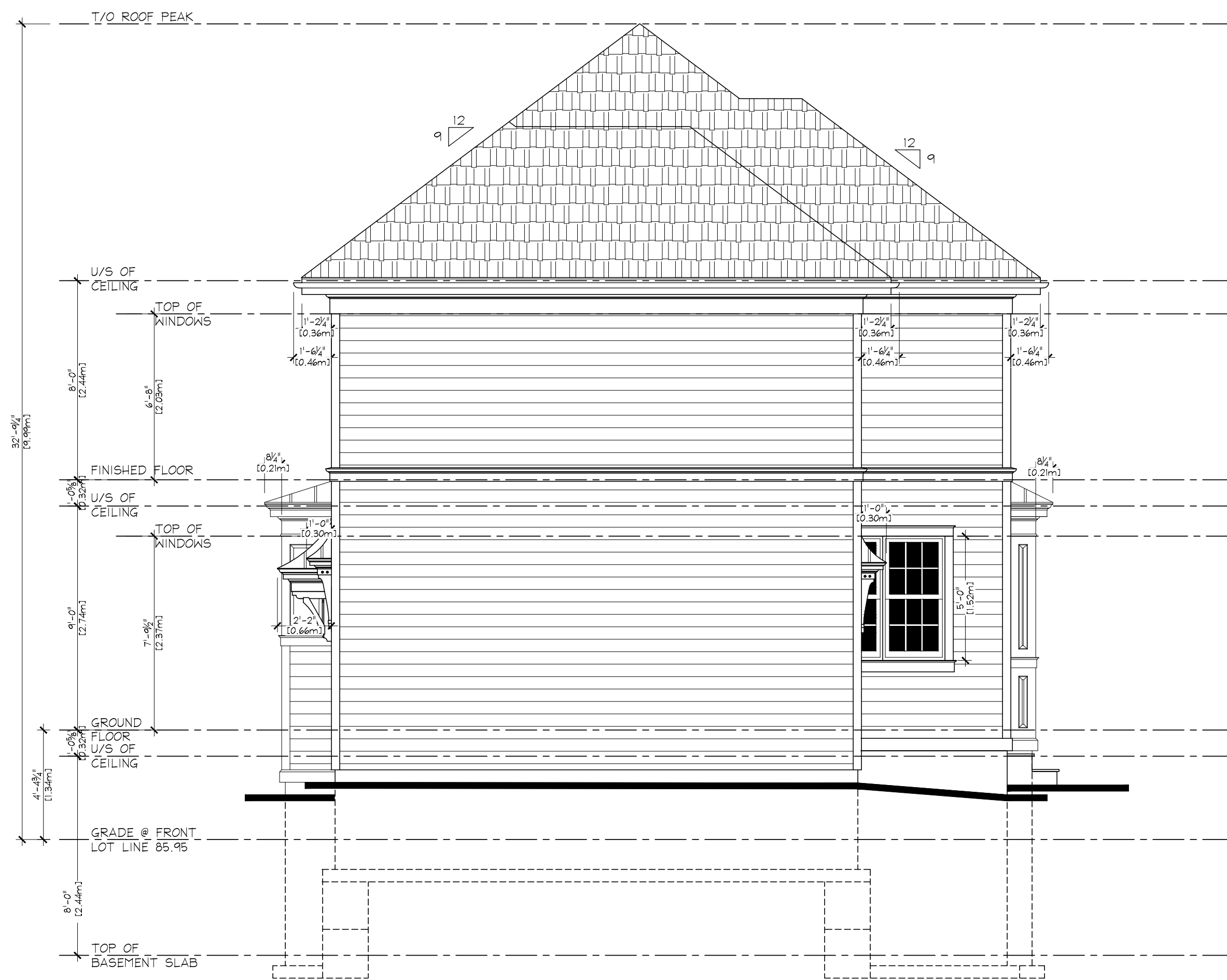
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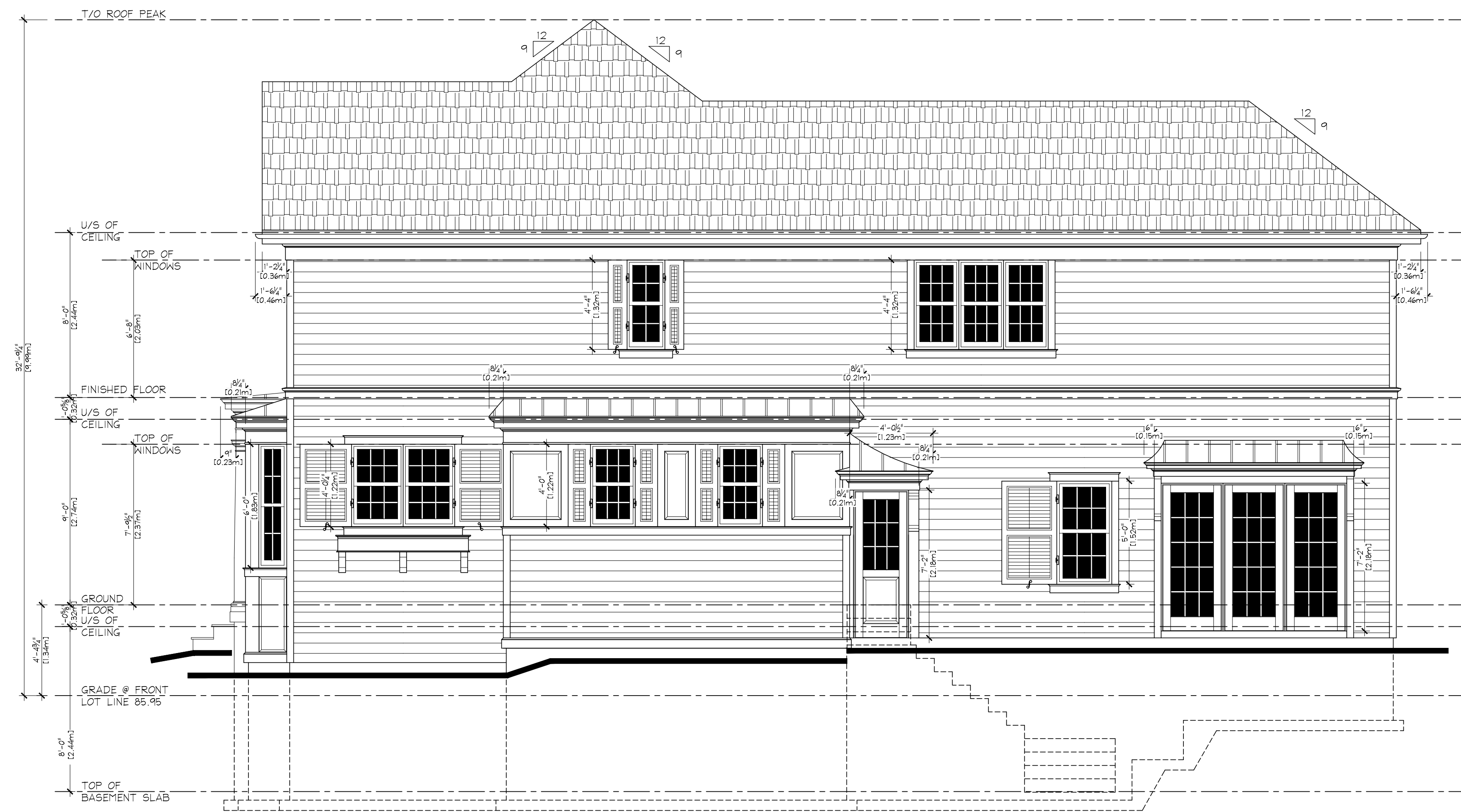
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1 REAR ELEVATION
 A202 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
 A202 1/4" = 1'-0"

THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE JOB AND REPORT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DRAWINGS ARE THE PROPERTY OF WILLIAMS RESIDENTIAL DESIGN AND NO COPIES BE LOANED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.

DESCRIPTION
 RE-ISSUED FOR VARIANCE

DATE
 08-26-19

SIGNATURE REQUIRED
 JOHN WILLIAMS REVIEWS AND TAKES RESPONSIBILITY FOR THE DESIGN WORK DESCRIBED IN THIS DOCUMENT
 DESIGN COMPANY RCN 3147
 INDIVIDUAL RCN 2472

WILLIAMS
 RESIDENTIAL DESIGN

461 Burlington Avenue
 Burlington, Ontario
 L7S 1S1
 905-637-3274

REAR & RIGHT SIDE
 ELEVATIONS

Scale
 AS NOTED

Camryn Lanes
 Building 'D'
 1383 Caroline Street
 Burlington, Ontario
 L7S 1S1

Drawn By
 CB

Approved By
 JW

Job Number
 CAMD

Sheet
 A202

Date
 Aug. 26, 19

OF
 5

PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION

GENERAL:

1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMAINS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
3. ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
4. BUILDING ENVELOPES SHOWN ARE LOCATED BASED ON ZONING REQUIREMENTS.
5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUTS PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQ'D)

OWNER MAURICE DESROCHERS MUNICIPAL ADDRESS 550 BURLINGTON AVE. LEGAL DESCRIPTION PART OF LOTS 69 & 70, R.P. 117 CITY OF BURLINGTON	ZONING DRL MUNICIPAL ADDRESS 548 BURLINGTON AVE. LEGAL DESCRIPTION PART OF LOTS 68 & 69, R.P. 117 CITY OF BURLINGTON	MUNICIPAL ADDRESS 1385 CAROLINE STREET LEGAL DESCRIPTION PART OF LOTS 67,69 & 70, R.P.117 CITY OF BURLINGTON				
SITE STATISTICS	BUILDING "B"	PROPOSED	BUILDING "C"	PROPOSED	BUILDING "D"	PROPOSED
LOT FRONTAGE	12.1 m (Min.)	12.2 m	N/A	17.1 m (Min.)	N/A	15.2 m (Min.)
LOT AREA	373 m ² (Min.)	373 m ²	379 m ² (Min.)	379 m ² (Min.)	343 m ² (Min.)	343 m ² (Min.)
LOT COVERAGE	31% (Max.)	31%	25% (Max.)	38% (Max.)	25% (Max.)	33.3% (Max.)
FRONT YARD SETBACK	5.4 m 4.0 m (Overhang)	4.2 m 4.1 m (Overhang)	6.00 m (Dwelling) 5.35 m (Overhang)	4.9 m (Dwelling) 4.7 m (Overhang)	6.00 m (Dwelling) 5.35 m (Overhang)	4.2 m 3.9 m (Overhang)
REAR YARD SETBACK	9.0 m *	10.1 m	4.50 m	1.8 m	4.50 m	1.2 m
NORTH YARD SETBACK	1.2 m	1.2 m	1.80 m	1.2 m	1.20 m ²	1.2 m (East)
SOUTH YARD SETBACK	1.2 m	1.2 m	4.50 m (Dwelling) 3.85 m (Overhang)	5.1 m (Dwelling) 4.9 m (Overhang)	1.20 m ²	4.9 m 4.4 m (Overhang)
HEIGHT (PEAK OF ROOF)	10.0 m	10.09m (VARIANCE REQ.)	10.0 m	9.78 m	10.0 m	10.45 m (VARIANCE REQ.)



KEY PLAN
NOT TO SCALE

LEGEND

- U-S/FTG = 83.75 PROPOSED UNDERSIDE OF FOOTING
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- PROPOSED SANITARY SERVICE (150mmØ)
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- EXISTING WATER SERVICE
- EXISTING SANITARY SERVICE
- EXISTING STORM SEWER
- PROPOSED 200mmØ WATER METER
- SWALE FLOW DIRECTION WITH SLOPE
- MINIMUM TREE PROTECTION ZONE
- PROPOSED SILT FENCE
- LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS

BENCHMARK:

LOCAL ELEVATION ARE DERIVED FROM A NAIL IN PAVEMENT OPPOSITE NO. 4076 HAVING AN ELEVATION OF 100.00m.

5. DEC. 22, 2016	ISSUED FOR REVIEW
5. DEC. 22, 2016	ISSUED FOR REVIEW
4. NOV. 15, 2016	REVISED AS PER CLIENTS REQUEST
3. NOV. 04, 2016	REVISED AS PER CITY COMMENTS
2. SEPT. 15, 2016	REVISED AS PER CLIENT COMMENTS
1. MAY 19, 2016	ISSUED FOR REVIEW

REVISIONS

N°	Date	By	Checked	Date
Design	A.K.W.	Checked		
Drawn		Checked		DECEMBER 22, 2016

Scale

HORIZONTAL: 1:150

APPROVALS

Municipal

DIRECTOR OF ENGINEERING

ENGINEER'S STAMP

Regional

DESIGN OF WATER AND WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

DATE: _____

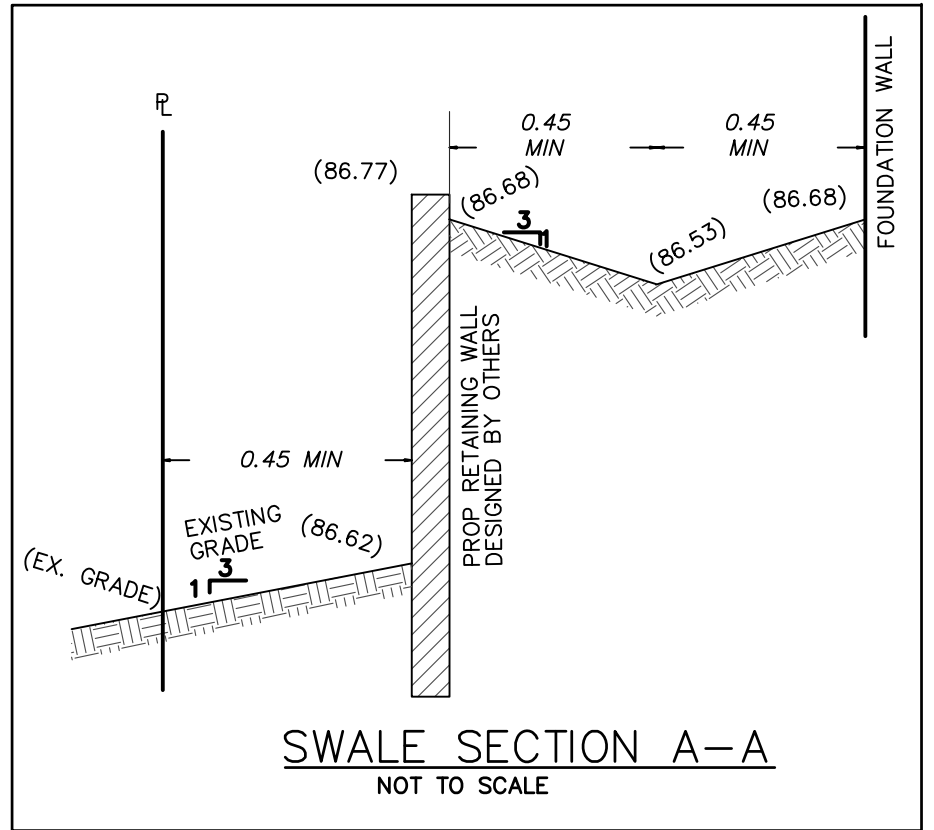
FOR REVIEW ONLY NOT FOR CONSTRUCTION

ASHENHURST NOUWENS & ASSOCIATES INC.
Professional Engineers & Ontario Land Surveyors
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6851 e-mail: an@ashenhurstnouwens.com

MUNICIPALITY REGIONAL MUNICIPALITY OF HALTON
CITY OF BURLINGTON
ENGINEERING DEPARTMENT

PLAN SHOWING
PROPOSED SITE, GRADING + SEDIMENT & EROSION CONTROL ON
Part of Lots 68, 69 & 70, Plan No. 117
BEING
548, 550 Burlington Ave. & 1385 Caroline Str.
CITY OF BURLINGTON

MUNICIPAL DRAWING N°	REGIONAL DRAWING N°
CONTRACT N°	ASHENHURST NOUWENS DRAWING No. 15225-06



REGIONAL APPROVAL:

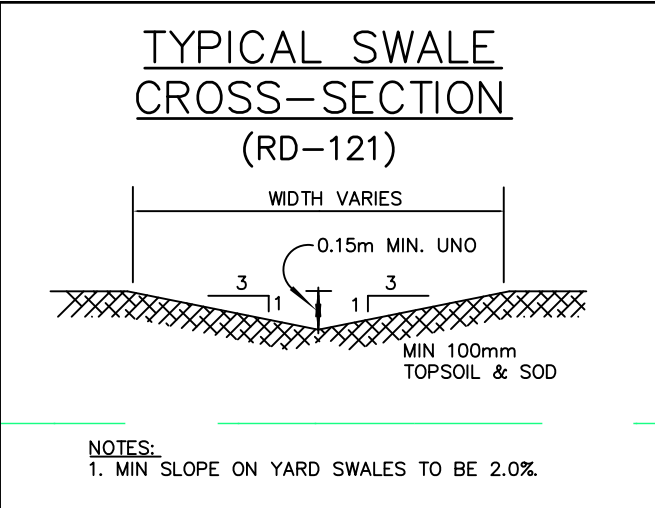
REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____

DATED: _____

INFRASTRUCTURE PLANNING & POLICY

The Applicant show be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-826-6032). Furthermore, all water quality tests must be completed to Halton Region's satisfaction, before the water supply can be turned on.



Tree Protection and Preservation
Specification No. 5512A

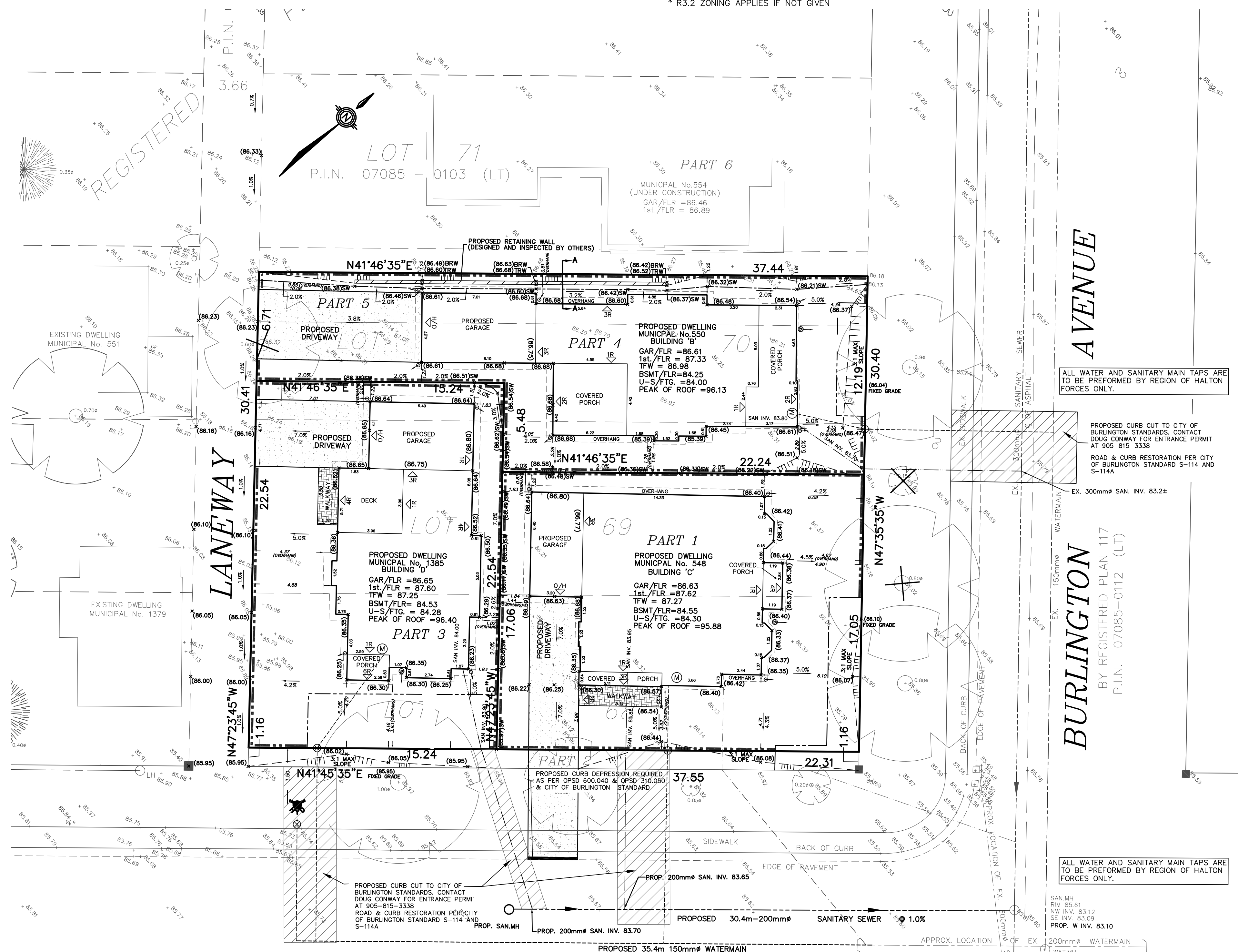
Detail TP-1 - Tree Protection Detail.

Trunk Diameter (DBH)¹	Minimum Tree Protection Zone (MTPZ) Diameter Required²	Critical Root Zone (CRZ) Distance³
<10 cm	1.8 m	1.8 m
11-40 cm	2.4 m	4.0 m
41-50 cm	3.0 m	5.0 m
51-60 cm	3.6 m	6.0 m
61-70 cm	4.2 m	7.0 m
71-80 cm	4.8 m	8.0 m
81-90 cm	5.4 m	9.0 m
91-100 cm	6.0 m	10.0 m

NOTES:
¹ The roots of a tree extend from the trunk to approximately 2/3 times the distance of the drip line.
² Diameter at breast height (DBH) is the measurement of tree trunk taken at 1.4 metres above ground.
³ Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree back towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.
⁴ Where work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 8 of this specification.

TREE PROTECTION BARRIER

1. The required barrier is a 1.2 metre (4 ft) high orange plastic web fencing on 2" x 4" posts. Where orange plastic web fencing is not available, a reflective safety fence with reflective tape can be used.
2. Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The barriers shall be maintained erect and in good repair throughout the duration of construction operations with breaks and unsupported sections repaired immediately. Tree protection may be removed prior to the completion of construction without written authorization from the City of Burlington.
3. All supports and bracing used to safely secure the barrier should be located outside the MTPZ. All supports and bracing should minimize damage to trees.
4. Where snow fill or excavated material must be temporarily located near a MTPZ, a wooden barrier with silt fencing must be used to ensure no material enters the MTPZ.
5. No materials or fill may be stored within the MTPZ.
6. Equipment or vehicles shall not be operated, parked, repaired, or refueled within the MTPZ.
7. No construction activity, grade changes, or backfilling or excavations of any kind is permitted within the MTPZ without written authorization from the City of Burlington.
8. A permanent Minimum Tree Protection Zone sign (see Detail TP-3 - Minimum Tree Protection Zone Sign) must be attached to the side of the Tree Protection Zone sign and be visible by persons entering the site. Minimum size shall be 10" x 14".



CAROLINE STREET
BY REGISTERED PLAN 117
P.I.N. 07085-0123 (LT)

REMOVE PLUG & CONNECT TO EX. 200mmØ WATERMAIN. CONNECTION HAS TO BE INSTALLED PRIOR TO CAP, AND PRIOR TO OLD WATER SERVICE.

ALL WATER AND SANITARY MAIN TAPS ARE TO BE PERFORMED BY REGION OF HALTON FORCES ONLY.

ALL WATER AND SANITARY MAIN TAPS ARE TO BE PERFORMED BY REGION OF HALTON FORCES ONLY.

PROPOSED CURB CUT TO CITY OF BURLINGTON STANDARDS. CONTACT DOUG CONWAY FOR ENTRANCE PERMIT AT 905-815-3338

ROAD & CURB RESTORATION PER CITY OF BURLINGTON STANDARD S-114 AND S-114A

EX. 300mmØ SAN. INV. 83.22

EX. 150mmØ WATERMAIN

EX. 200mmØ WATERMAIN

EX. 300mmØ STORM

APPROX. LOCATION OF EX. 300mmØ STORM

APPROX. LOCATION OF EX. 200mmØ WATERMAIN

APPROX. LOCATION OF EX. 150mmØ WATERMAIN

APPROX. LOCATION OF EX. 300mmØ STORM

APPROX. LOCATION OF EX. 200mmØ WATERMAIN

APPROX. LOCATION OF EX. 150mmØ WATERMAIN

APPROX. LOCATION OF EX. 300mmØ STORM

APPROX. LOCATION OF EX. 200mmØ WATERMAIN

APPROX. LOCATION OF EX. 150mmØ WATERMAIN

APPROX. LOCATION OF EX. 300mmØ STORM

APPROX. LOCATION OF EX. 200mmØ WATERMAIN

APPROX. LOCATION OF EX. 150mmØ WATERMAIN

APPROX. LOCATION OF EX. 300mmØ STORM

APPROX. LOCATION OF EX. 200mmØ WATERMAIN

APPROX. LOCATION OF EX. 150mmØ WATERMAIN

APPROX. LOCATION OF EX. 300mmØ STORM

APPROX. LOCATION OF EX. 200mmØ WATERMAIN

APPROX. LOCATION OF EX. 150mmØ WATERMAIN

APPROX. LOCATION OF EX. 300mmØ STORM

APPROX. LOCATION OF EX. 200mmØ WATERMAIN

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 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQ'D)

- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH 500 AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
- ALL DISTURBED GRASSED AREAS MUST BE REINSTATED WITH 150 mm TOPSOIL AND NURSERY SOD PER OPSS 803.
- ALL RESTORATION MUST BE COMPLETED TO REGION OF HALTON AND CITY OF BURLINGTON STANDARDS.
- ALL CATCH BASINS ADJACENT TO THE SITE SHALL BE PROTECTED WITH SILT SACS PER TYPICAL DETAIL THIS DRAWING.
- TREE PROTECTION SHALL BE ERECTED ACCORDING TO CITY OF BURLINGTON TREE PRESERVATION GUIDELINE SS112A.
- INSPECTION AND/OR EXCAVATION INSIDE TREE HOARDING MUST BE UNDERTAKEN WITH THE USE OF A HYDRO-EXCAVATION EQUIPMENT.

ROADWORKS:

- ROAD RESTORATION IS TO BE COMPLETED IN ACCORDANCE WITH CITY STANDARDS S-114, S-114B AND S-125A.

PRIVATE DRAINS:

- BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO LANDSCAPED AREAS VIA SPLASH PADS A MIN. OF 0.6m FROM THE BUILDING FACE.
- SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEEPING TILES TO GRADE VIA CONCRETE SPLASH PADS A MIN OF 0.6m AWAY FROM THE FOUNDATION WALL. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO GRADE.

GRADING:

- LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF BURLINGTON LOT GRADING POLICY.
- ALL ELEVATIONS AFFECTED PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
- ALL IMPORTED FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
- ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
- ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
- ALL DISTURBED BOULEVARD AREAS ARE TO BE REINSTATED WITH 100mm TOPSOIL AND NO. 1 NURSERY SOD IN ACCORDANCE WITH OPSS 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

GENERAL GRADING NOTES:

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SODDED SLOPES (MIN 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.10m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.ENG.
- SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.5% GRADE (3:1 SLOPES)
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MIN. 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7%. REVERSE SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM OF 95% SPD, UNLESS OTHERWISE SPECIFIED.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC, REFER TO TREE PROTECTION PLAN.
- LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER

STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
 18. EXISTING GRAVEL ARE AROUND THE CITY TREE ALONG CAROLINE IS TO BE CAREFULLY REMOVED, TOP SOIL ADDED AND RE-SODDED.

COMPACTION REQUIREMENTS:

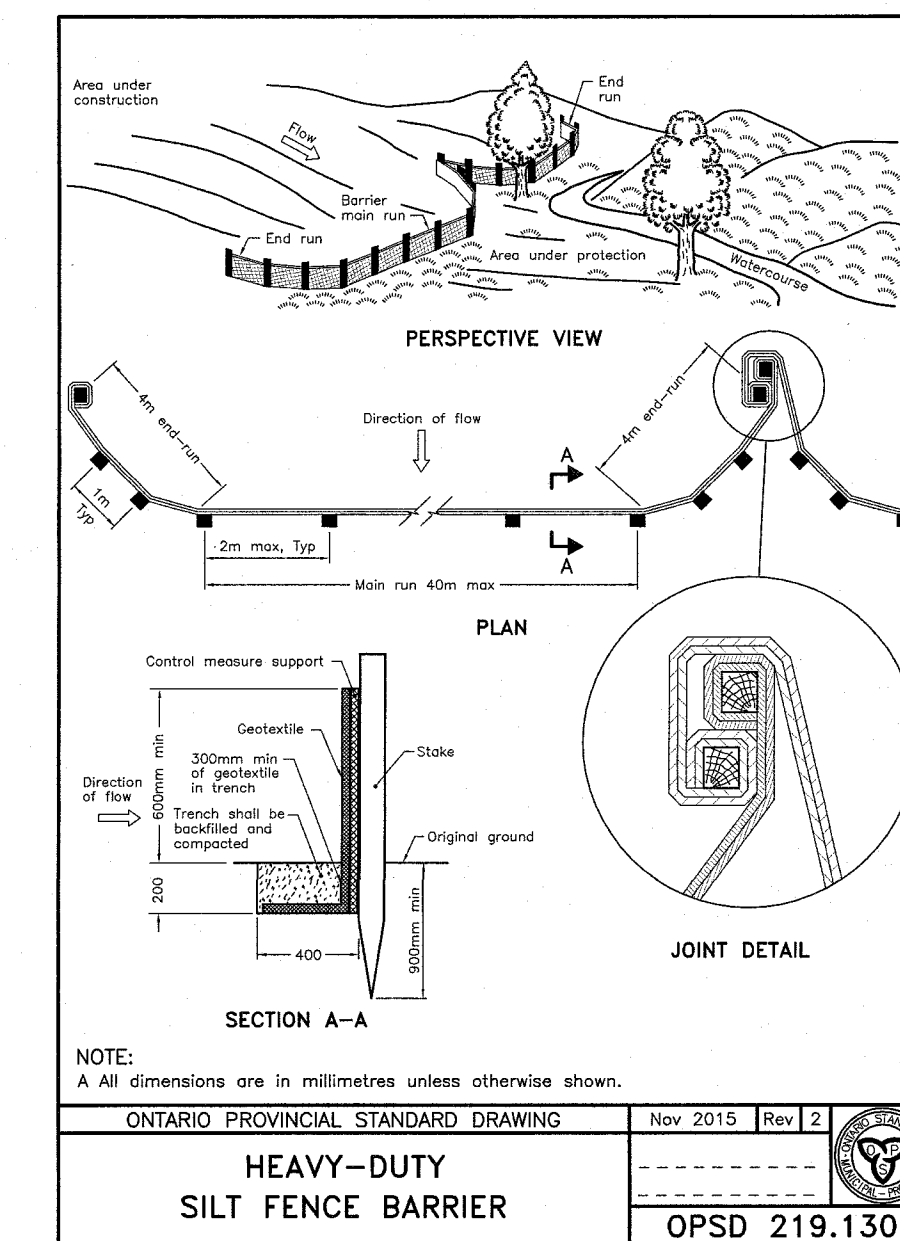
- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPD UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS
- ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPD.

SILTATION AND EROSION CONTROL:

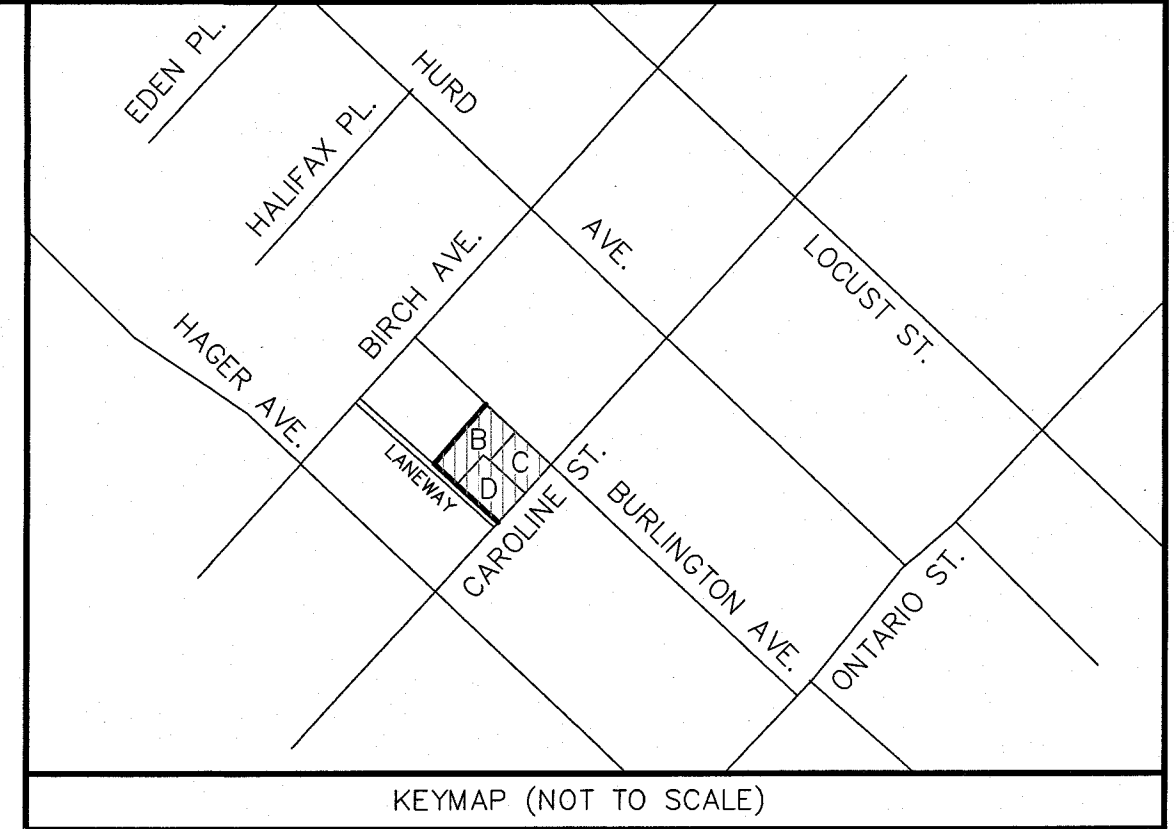
- SILT FENCE IN ACCORDANCE WITH OPSS 219.130 SHALL BE PLACED AROUND THE SITE AND AS REQUIRED BY THE CITY OF BURLINGTON AND REGION OF HALTON. SILT FENCE MUST BE INSPECTED FOLLOWING ALL RAIN EVENTS AND MAINTAINED TO THE SATISFACTION OF THE CITY OF BURLINGTON AND THE REGION OF HALTON.

BACKYARD GRADING:

- DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
- THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
- THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM 2 ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF CONSTRUCTION.
- THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3H:1V)



NOTE:
 All dimensions are in millimetres unless otherwise shown.
 ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 21
HEAVY-DUTY SILT FENCE BARRIER
 OPSD 219.130



LEGEND

- (93.75) SW PROPOSED SWALE ELEVATION
- 93.44 EXISTING ELEVATION
- (93.75) PROPOSED ELEVATION
- 4.0% PROPOSED SURFACE FLOW DIRECTION & GRADE
- PROPOSED SWALE
- SILT FENCE & LIMIT OF GRADING
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- PROPOSED ENTRANCE LOCATION
- TREE PROTECTION ZONE
- LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS
- LOCATION AND DIRECTION OF FLOW FOR SUMP PUMP

DRAWING NOTE:
 SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM PLAN BY PEARCE SURVEYING INC. DATED JULY 2015.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET DIVIDING BY 0.3048.

CAUTION
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

No.	DATE	BY	DESCRIPTION
9	NOV 17, 2020	AN	REVISED AS PER CITY COMMENTS (ZONING)
8	OCT 16, 2020	AN	REVISED AS PER CITY COMMENTS (ZONING) AND ARCHITECT CHANGES
7	JULY 10, 2020	AN	REVISED AS PER REGION COMMENTS (ADD WATER METER SIZE)
6	OCT 23, 2019	AN	REVISED AS PER ARCHITECT (CHANGE THE HEIGHT)
5	OCT 15, 2019	AN	REVISED AS PER CITY COMMENTS (OCT 15, 2019)
4	SEP 27, 2019	AN	REVISED AS PER CITY COMMENTS
3	FEB 10, 2017	EA	REVISED AS PER CITY COMMENTS
2	JAN 30, 2017	EA	REVISED AS PER CITY COMMENTS
1	JAN 17, 2017	EA	ISSUED FOR REVIEW

REVISIONS

ENGINEER'S STAMP
 LICENSED PROFESSIONAL ENGINEER
 A. H. HAJM
 100131466
 Nov 17 20
 PROVINCE OF ONTARIO

ONTARIO LAND SURVEYORS
 NOV 17 2020
 H. KALANIZAKOS
 1922

PLAN SHOWING PROPOSED SITE & GRADING PLAN
 ON
 Part of Lots 67,69 & 70, Plan No. 117
 BEING
 1385 CAROLINE STREET
 CITY OF BURLINGTON

ASHENHURST NOUWENS & ASSOCIATES INC.
 Professional Engineers & Ontario Land Surveyors
 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1R1
 (905) 529-6316 (905) 529-4314 1-800-824-6224
 FAX: (905) 529-6651 e-mail: an@ashenhurstnouwens.com

BENCHMARK
 LOCAL ELEVATION ARE DERIVED FROM A NAIL IN THE PAVEMENT OPPOSITE NO. 4076, HAVING AN ELEVATION OF 100.00m.

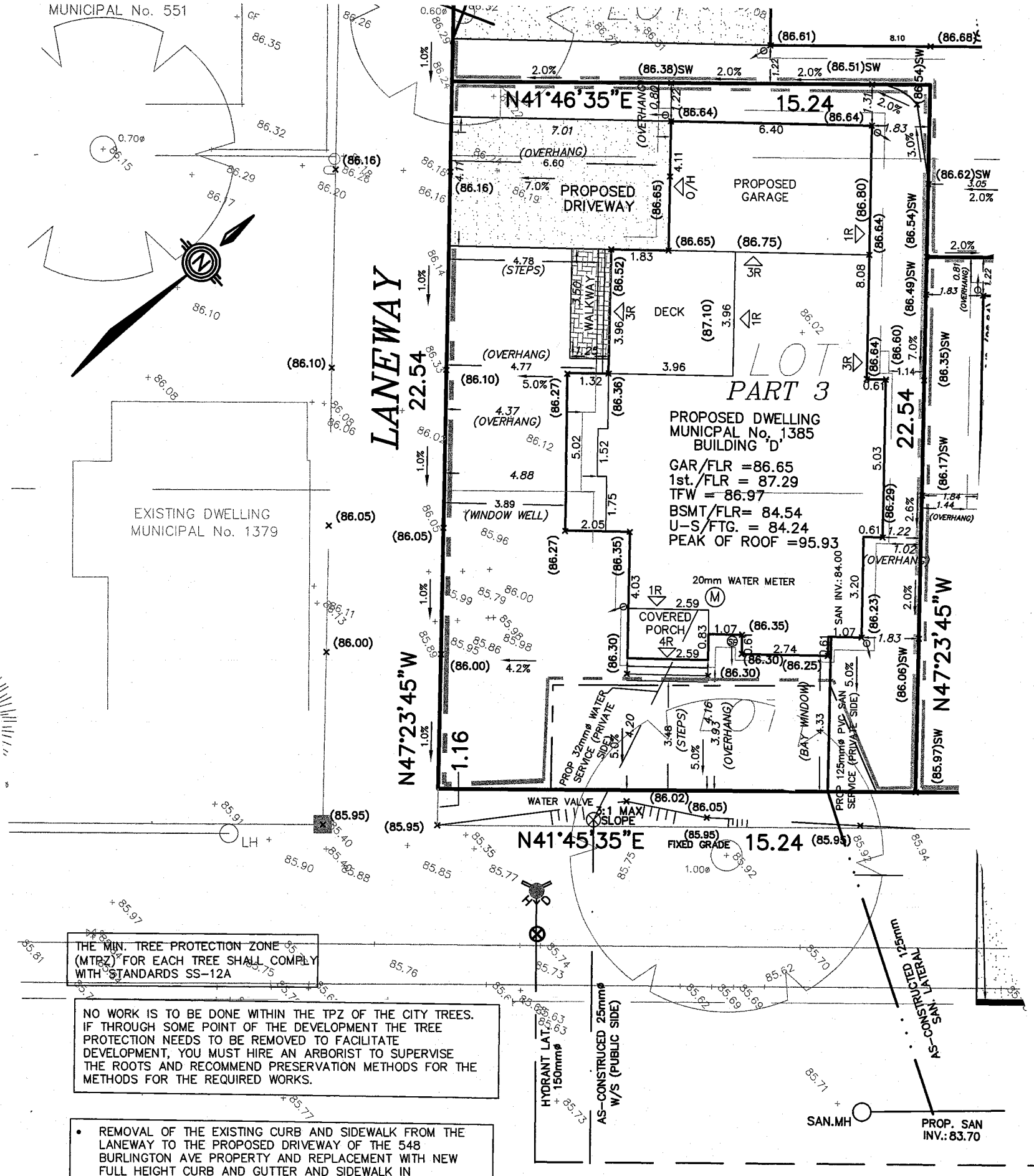
DWN BY: EA	CHK BY: DDN	DWG No.
SCALE: 1 : 150		15225 SGP 2
DATE: FEB 10, 2017		

REGIONAL APPROVAL:

REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____
 DATED: _____
 INFRASTRUCTURE PLANNING & POLICY

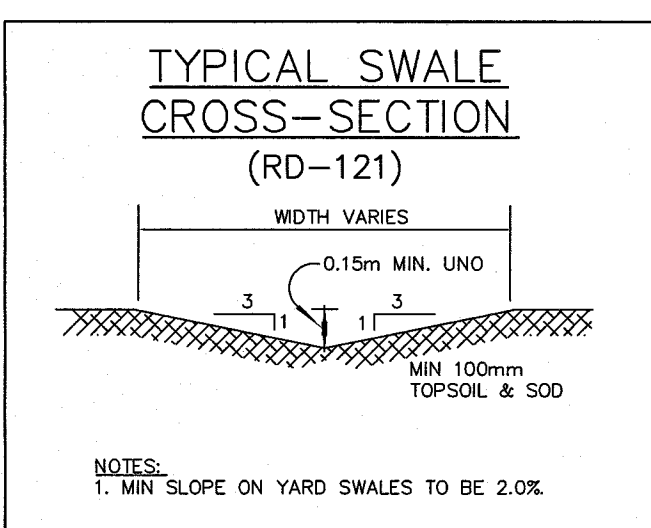
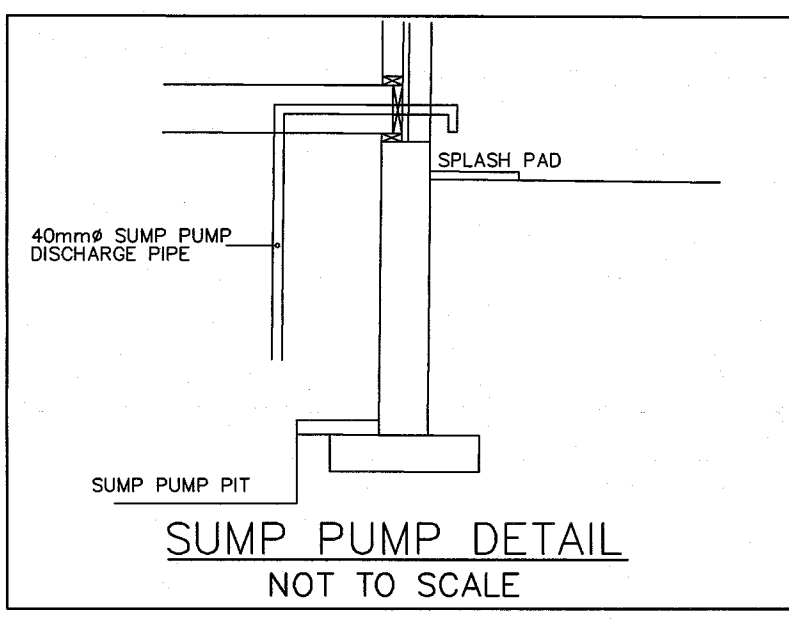
The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-825-8032) Furthermore, all water quality tests must be completed to Halton Region's satisfaction, before the water supply can be turned on.



OWNER
 MAURICE DESROCHERS
ZONING
 DR1
MUNICIPAL ADDRESS
 1385 CAROLINE STREET
LEGAL DESCRIPTION
 PART OF LOTS 67,69 & 70, R.P.117
 CITY OF BURLINGTON

	BY LAW	VARIANCE	PROPOSED
LOT FRONTAGE	15.0 m	15.2 m (Min.)	15.2 m (Min.)
LOT AREA	425 m ² (Min.)	343 m ² (Min.)	343 m ² (Min.)
LOT COVERAGE	25% (Max.)	33.23% (Max.)	33.23% (Max.)
FRONT YARD SETBACK	6.00 m (Dwelling) 5.35 m (Overhang, Stairs)	4.1 m (Overhang, Steps) 3.2 m (Overhang, Steps)	4.16 m (Overhang) 3.93 m (Overhang) 3.49 m (Steps)
REAR YARD SETBACK	4.50 m	1.2	1.22 m
EAST YARD SETBACK	1.20 m*		1.22 m (East)
WEST YARD SETBACK	1.20 m*		4.88 m (Overhang) 4.37 m (Overhang) 4.78 m (Stairs)
HEIGHT (PEAK OF ROOF)	10.0 m		9.98 m
BUILDING AREA (FOOT PRINT EXC. DECKS/PORCHES)			114.0 m ²
MAIN FLOOR AREA			113.57 m ²
SECOND FLOOR AREA			109.04 m ²
BUILDING FLOOR AREA			222.61 m ²
FLOOR AREA RATIO (LOW DENSITY RESIDENTIAL)	0.45:1	0.65:1	0.649:1

* R.3.2 ZONING APPLIES IF NOT GIVEN



Tree Protection and Preservation
 Specification No. SS12A

Detail TP-1 - Tree Protection Detail.

Trunk Diameter (DBH) ¹	Minimum Tree Protection Zone (MTPZ) Diameter Required ²	Critical Root Zone (CRZ) Diameter Required ³
< 10 cm	1.8 m	1.8 m
11 - 40 cm	2.4 m	4.0 m
41 - 50 cm	3.0 m	5.0 m
51 - 60 cm	3.6 m	6.0 m
61 - 70 cm	4.2 m	7.0 m
71 - 80 cm	4.8 m	8.0 m
81 - 90 cm	5.4 m	9.0 m
91 - 100 cm	6.0 m	10.0 m

NOTES:

- The roots of a tree can extend from the trunk to approximately 2-3 times the distance of the drip line.
- Diameter of tree trunk taken at 1.4 metres above ground.
- Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree base towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.
- Where work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 8 of this specification.

TREE PROTECTION BARRIER

- The required barrier is a 1.2 metre (4 ft) high orange plastic web snow fencing on 2" x 4" frame. Where orange plastic web snow fencing creates a restriction to sightlines, page wire fencing with reflective tape can be used.
- Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The barriers shall be maintained erect and in good repair throughout the duration of construction operations with breaks and damaged sections repaired immediately. Tree protection may be used by removed prior to the completion of construction without written authorization from the City Authority.
- All supports and bracing used to safely secure the barrier should be located outside the MTPZ. All supports and bracing should minimize damage to roots.
- Where zones fill or excavated material must be temporarily located near a MTPZ, a wooden barrier with silt fencing must be used to ensure no material enters the MTPZ.
- No materials or fill may be stored within the MTPZ.
- Equipment or vehicles shall not be operated, parked, repaired, or refueled within the MTPZ.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the MTPZ without written authorization from the City Authority.
- A laminated Minimum Tree Protection Zone sign (See Detail TP-3 - Minimum Tree Protection Zone Sign) must be attached to the side of the Tree Protection where it will be visible by persons entering the site. Minimum size must be 10" x 14".

COMMITTEE OF ADJUSTMENT

MEETING #7

AGENDA

APRIL 28, 2021

HEARING NO. 5 - 5:30 P.M.

File**540-02-A-035/20**

APPLICANT: Maurice Richard Desrochers

PROPERTY: 550 Burlington Avenue,
PLAN 117 PT LOTS 69, 70 RP 20R20311 PARTS 4,5
City of Burlington - Regional Municipality of Halton

VARIANCES: The applicant is proposing the construction of a two-storey detached dwelling.

1. To permit lot coverage of 32.2% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
2. To permit floor area ratio of 0.64:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.
3. To permit a front yard setback of 3.9 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including steps and overhang.
4. To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage.
5. To permit a south side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage including proposed window wells.
6. To permit a dwelling depth of 20.9 m instead of the maximum permitted 18 m for a proposed two storey detached dwelling with attached garage.

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**STAFF REPORTS:****PLANNING AND BUILDING DEPARTMENT COMMENTS****Committee of Adjustment**

There is one previous minor variance application on record for this property.
There is one land division application on record for this property.

File No. B-015/15 – Approved

- Severance of existing lot to create 2 new lots resulting in total of 3 lots

File No. A-055/15 Building B –Variances 1 and 2 –Approved
Variances 3-6 –Lapsed

1. To permit a lot width of 12.1 m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot width of 15 m to facilitate a proposed land severance.
2. To permit a lot area of 373.0 sq m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot area of 425.0 sq m to facilitate a proposed land severance.
3. To permit lot coverage of 31% whereas Part 2, Section 4.2 (Table 2.4.3), of Zoning By-Law 2020, as amended, permits 25% maximum for a proposed two storey detached dwelling with attached garage.

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-
4. To permit a front yard setback of 4.0 m whereas Part 1, Section 2.13 (d), of Zoning By-Law 2020, as amended, requires a minimum 5.35 m for a proposed roofed over porch including overhangs and stairs.
 5. To permit a north side yard setback of 1.2 m whereas Part 1, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum 1.8 m for a proposed two storey detached dwelling.
 6. To permit a south side yard setback of 1.2 m whereas Part 1, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum 1.8 m for a proposed two storey detached dwelling.

Date: November 24, 2020Prepared By: Shawna Houser CPT**Zoning**

The subject property is zoned DRL, Downtown Residential Low Density Zone, and is in a designated area for lot coverage, under Zoning By-Law 2020, as amended. The DRL zone permits a detached dwelling subject to R3.2 zone regulations. The R3.2 zone requires, among other things, the following:

4. R1, R2, R3 ZONE REGULATIONS

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R3 ZONES						
R3.2	15 m	425 m ²	6 m	9 m (c)	(b)	4.5 m

Footnotes to Table 2.4.1

- b) With attached garage or carport:
- (v) One or one and a half storey side: 1.2 m
 - (vi) Two or more storey side: 1.8 m
- c) On a corner lot the rear yard may be 4.5 m.

2.13 ENCROACHMENT INTO YARDS

2.13.1 Every part of a required yard shall be unobstructed with respect to the following encroachments:

- (c) The following obstructions may project **65 cm** maximum into a required yard:

A roofed-over or screened but otherwise unenclosed 1-storey porch

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4.2 LOT COVERAGE

Table 2.4.3

Dwelling Type	Dwelling with Attached Garage	Dwelling without Attached Garage
All Dwellings in Designated Areas (b) (c)	25% for all other dwelling types including accessory buildings	17% for all other dwelling types plus 8% for accessory buildings

Footnotes to Table 2.4.3

- (g) One accessory building less than 10 m² and less than 2.5 m in height shall be exempt from the lot coverage requirements of Table 2.4.3.
- (h) Designated Areas are shaded on ZONING MAPS in Part 15.

4.5 FLOOR AREA RATIO

- (c) A maximum floor area ratio of 0.45:1 shall apply to all properties in Designated Areas for Lot Coverage.

Floor Area Ratio – Low Density Residential

The mathematical relationship between the floor area of a dwelling and its lot area determined by dividing the floor area of a building (including attached garage and stair case) by the net area of that lot.

4.6 DWELLING DEPTH

- (a) Maximum depth of a dwelling shall be 18 m measured from building wall closest to front lot line to building wall closest to rear lot line.

The applicant is proposing the construction of a two-storey detached dwelling. The following variances are required to facilitate the proposed development.

Variances required:

1. To permit lot coverage of 32.2% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
2. To permit floor area ratio of 0.64:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.
3. To permit a front yard setback of 3.9 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including steps and overhang.
4. To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage.

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5. To permit a south side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage including proposed window wells.
6. To permit a dwelling depth of 20.9 m instead of the maximum permitted 18 m for a proposed two storey detached dwelling with attached garage.

Condition:

1. A consolidated pre-building permit application is required.

Notes:

1. Land severance approved under file 545-02-B15/015/B.
2. Demolition permit issued on July 23, 2019 under file 19/013766.
3. Variance approved under file 540-02-A55/15 to permit a lot area of 373 m² and a lot width of 12.1 m to facilitate the proposed lane severance.
4. Variances approved under file 540-02-A55/15 for building location lapsed.
5. Laneway in rear is considered a public road as per Legal Department. City owned laneway deemed public laneway under Section 26 of Municipal Act and therefore property is considered a through lot.
6. Property has been consolidated into one parcel.
7. The variances identified are based on the plans provided. Any changes to the plans resulting in additional variances will be the responsibility of the applicant to obtain.

Date: November 6, 2020Prepared By: Tina Vassalli**Site Planning**

The subject property is located on the west side of Burlington Avenue with rear laneway access north of Caroline Street within the St. Luke's Precinct. The site is currently vacant. The applicant is proposing to construct a new two-storey detached dwelling, with an attached garage and front covered porch. In order to facilitate the proposed development, variances are being requested for front and side yard setbacks, dwelling depth, lot coverage and floor area ratio.

Staff notes that in 2016, a consent application and variances were considered by the Committee of Adjustment under file numbers B-015/15 and A-055/15. Both applications were approved by the Committee of Adjustment; however, the minor variance approvals related to house construction lapsed as a result of the applicant not obtaining a Building Permit within the specified timeline of 2 years from the end of the approval appeal period. Staff notes that the consent approval did not lapse, and therefore the variances for a lot area of 373 sq. m and lot width of 12.1m are permitted for the subject property. As a result of the lapsing of the variance related to house construction, the applicant has resubmitted a minor variance application to reinstate those approvals. Staff notes

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that the previous minor variance application was received in 2015 and therefore reviewed against a set of zoning regulations that have since that been replaced with new zoning regulations approved by Council to better manage residential infill development. The subject application is being reviewed against the currently applicable regulations contained within Zoning By-Law 2020, as amended. Staff opinion on the subject variances is based only on applicable regulations. The currently applicable regulations became in effect on December 19, 2016. Staff opinion on the subject variances is based only on applicable regulations.

1) Official Plan Designation:

Does the proposed minor variance from the Zoning By-law maintain the general intent and purpose of the Official Plan?

No

The subject property is designated 'Mixed Use Centre – St. Luke's Neighbourhood Precinct' within the City's Official Plan. The Official Plan requires new development to be compatible with its surroundings. Within the St. Luke's Neighbourhood Precinct, special consideration is given to the compatibility of buildings in terms of height, setbacks, massing, design, and community features.

Downtown Mixed-Use Centre

The subject property is located within the Downtown Mixed-Use Centre. Part III Section 5.5, Subsection 5.5.1 Principles states the following:

- c) As a Mixed-Use Centre, the Downtown shall take advantage of the unique qualities that set it apart from all other areas of the City and contribute to a distinct identity. These qualities include the waterfront location and related activities, historic buildings, streetscapes and development pattern, cultural activities, pedestrian orientation, and recognition as a centre of business and civic activity.

Section 5.5.4 The St. Luke's and Emerald Neighbourhood Precincts include the following:

- c) To preserve the stable residential and heritage character of these neighbourhoods, and to ensure that any redevelopment is compatible with the existing character of the neighbourhoods.
- f) All development and redevelopment shall be compatible with the existing character of these neighborhoods with respect to such matters as heights, setbacks, massing, design and community features.

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The Official Plan also requires new development to be compatible with the surrounding area. Part II, Section 6.5 a) of the Official Plan states that *“The density, form, bulk, height, setbacks, spacing and materials of development are to be compatible with its surrounding area.”*

The Official Plan policies are implemented via specific zoning regulations, which staff must consider as part of the assessment of Official Plan policies. The proposed development introduces a building form that does not achieve the enhanced level of compatibility with the surrounding neighbourhood context, as expressed by the Official Plan and defined by zoning regulations. St. Luke’s Precinct, and more specifically the area immediately surrounding the subject property, is characterized primarily by mature one- to two-storey dwellings and some redeveloped two-storey dwellings, with open, green yards and ample vegetation. The proposed reductions to the front and side yard setbacks is deemed to negatively impact the established arrangement of house setbacks and lot spacing. Although the applicant is not requesting a variance for the rear yard setback, staff notes that the proposed rear yard consists predominately of driveway/hard surface. This increases the importance of spacious front and side yard setbacks as open and undeveloped areas. The reduced setbacks and increased built form (lot coverage and floor area ratio) pose negative impacts of massing and overdevelopment to the surrounding area, in contrast to the current development standards for this area.

Staff notes that Site Engineering has identified technical concerns related to Variance #1 (lot coverage) due to the total impervious lot coverage/hard surface. This technical matter requires consideration beyond design compatibility as it may result in physical impacts of water management between adjacent sites.

Given the above, staff is of the opinion that the requested variances do not maintain the general intent and purpose of the City’s Official Plan.

2) Zoning By-law Designation:

Does the proposed minor variance from the Zoning By-law maintain the general intent and purpose of the Zoning By-law?

No

The subject property is zoned DRL, Downtown Residential Low-Density, under the City’s Zoning By-Law 2020, as amended. The DRL zone permits a single detached dwelling subject to the R3.2, Low- Density Residential, regulations, as per Table 6.2.2, footnote c under the Zoning By-Law. The applicant is requesting several variances related to front and side yard setbacks, dwelling depth, lot coverage and floor area ratio.

The site is located in an established neighbourhood/designated lot coverage area. Established neighbourhoods utilize enhanced zoning regulations (such as Floor Area

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Ratio limits, house depth etc) which were approved by Council in December 2016 to better manage the introduction of new development within existing neighbourhoods. These enhanced regulation better reflected Council's expectations related to development and better defined the policies contained with the Official Plan. It is important for planning staff to ensure that new development does not pose negative impacts of overbuilding or inappropriate massing within these neighbourhoods and to ensure that new development maximizes compatibility with existing development in the area.

These enhanced regulations also prevent the overbuilding of lots and the inappropriate relationship between spacing and mass that can often result. Lot coverage regulations ensure there is adequate open space around a structure to provide the desired balance between built form and landscape features. Similarly, the intent of setback regulations is to ensure that there is an appropriate and consistent separation between dwellings, to promote streetscape compatibility, and to mitigate adverse effects of massing to the surrounding streetscape and adjacent properties. The maximum dwelling depth regulation provides enhanced control over the massing and built form of dwellings to improve overall compatibility. The regulation aims to prevent negative massing impacts associated with overly long dwellings. Together, these enhanced regulations better define Council's expectations regarding development in this area.

Staff notes that Site Engineering has identified technical concerns related to Variance #1 (lot coverage), which is a result of an increased lot coverage and FAR, as well as decreased setbacks.

The proposed development is in conflict with the updated zoning regulations that guide new development within established neighbourhoods, and also conflicts with Council expectations as expressed in the 2016 package of enhanced zoning regulations for low density residential development.

Staff is of the opinion that the proposed development has not taken current zoning requirements into account and therefore poses massing, building siting, setbacks and spacing that are no longer anticipated under the site zoning. As a result, the development includes reduced setbacks, increased floor area ratio and coverage which pose negative impacts of massing and overdevelopment to the surrounding streetscape and adjacent properties. The structure has not been designed in consideration of currently applicable zoning regulations. Staff is of the opinion that the requested variances do not maintain the general intent and purpose of the City's Zoning By-Law.

3) Desirability:

Is the proposed minor variance from the Zoning By-law desirable for the appropriate development or use of the land, building or structure?

No

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Staff is of the opinion that the requested variances do not facilitate development that is deemed compatible with the surrounding streetscape or maintain Council's expectations around new development in established neighbourhoods. The requested variances do not promote compatible setbacks or spacing within the St. Luke's Precinct and pose negative impacts of massing and overbuilding when assessed against applicable zoning regulations. Furthermore, Site Engineering staff has identified technical concerns related to Variance #1 (lot coverage) due to the total impervious lot coverage/hard surface. As such, staff is of the opinion that the requested variances are not considered desirable. Staff encourage the applicant to consider these comments and revise the proposed development to better reflect the intent of the City's Official Plan and Zoning By-Law.

4) Minor in Nature:

Is the proposed minor variance from the Zoning By-law considered minor in nature?

No

Staff is of the opinion that the requested variances are not considered minor in nature as the proposed development exceeds the Zoning By-law and Council's expectations around new-development in established neighbourhoods. The variances foster development that is considered to be inconsistent with the Zoning By-law expectations around building size, siting, massing and site spacing.

Cumulative Effects of Multiple Variances and Other Planning Matters:

Staff is of the opinion that the requested variances would pose a cumulative negative impact from the overall proposed development.

Recommendation:

Staff has reviewed the requested variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and objects to the variances requested.

Date: February 17, 2021

Prepared By: Taylor MacDonald-Plummer

Site Engineering

Actual road width is equal to or greater than deemed road width (20m). No road widening required.

Date: June 15, 2020

Prepared By: A. Capone

Site Engineering has reviewed the proposed minor variances and has no objection to

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Variations 2 thru 6 inclusive, however, objects to Variation 1. When reviewing the entire impervious coverage of the lot which includes the dwelling (garage included), covered porches and driveway, the impervious lot coverage exceeds 55%. In these historical/traditional neighbourhood's, stormwater management was controlled on the basis of a maximum impervious lot coverage of 45%. In this instance, the proposed increased stormwater runoff would be detrimental for this area and therefore Site Engineering would consider this an over-build in relation to the size of the lot.

Date: November 30, 2020Prepared By: A. Capone**Building**

1. A Building Permit is required for all building construction.
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2012.

Date: December 16, 2020Prepared By: Kathy Pavlou**Transportation Planning**

Transportation Services has no concerns with this Minor Variance Application.

Date: November 25, 2020Prepared By: Trevor Clark**Finance****Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: Nov 25, 2020Prepared By: L. Bray

NOTICE OF PUBLIC HEARING

Maurice Desrochers, the owner of 550 Burlington Ave. has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **550 Burlington Ave. Burlington** (see map).

The applicant proposes to construct a two storey detached dwelling. This proposal results in the following variances:

1. To permit lot coverage of 32.2% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
2. To permit floor area ratio of 0.64:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.
3. To permit a front yard setback of 3.9 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including steps and overhang.
4. To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage.
5. To permit a south side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage including proposed window wells.
6. To permit a dwelling depth of 20.9 m instead of the maximum permitted 18 m for a proposed two storey detached dwelling with attached garage.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the 2021 Meeting Agenda tab at **Burlington.ca/coa** on or after **Wednesday WEDNESDAY APRIL 21, 2021**,

City Council approved Committee of Adjustment Hearings to be held electronically, with all Committee members, staff, applicants and delegations participating in the meetings remotely. The Committee of Adjustment will meet virtually to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY APRIL 28, 2021,

This application is scheduled to be heard at or after **5:30 pm**.

How to participate if I have comments or concerns?

Submit written correspondence

You can send your written comments (photos, plans, etc) regarding the application by e-mail (**preferred**) to **committeeofadjustment@burlington.ca** with the subject line to read "Comments_Your Name_File No._Address of the Property" OR by regular mail addressed to the Secretary-Treasurer noted below. Include your name, address, application number and address of the property for which you are providing

comments. **To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.**

City of Burlington Committee of Adjustment - Community Planning
Attn: Amanda D'Angelo, Secretary-Treasurer
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

Participate in the electronic hearing by webinar or telephone:

Pre-register as a delegate by contacting the Secretary-Treasurer noted below by email or telephone no later than 12:00 p.m. (noon) the day before the hearing date. You are encouraged to pre-register as a delegate as soon as possible to facilitate an orderly registration process.

All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance as a backup should any technology issues occur. Pre-registered delegates will be provided with all applicable access codes and instructions to enter the electronic hearing and will also be asked to test their audio/video capabilities prior to the hearing.

Watch or listen to the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active just before **5:30** p.m.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal Hearing. The Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing.

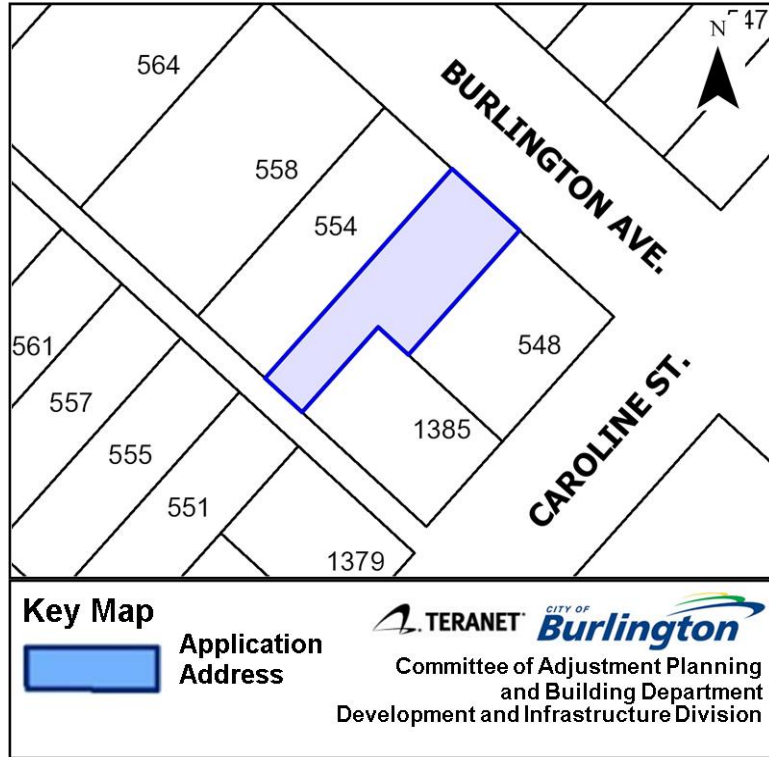
Yours truly,



Amanda D'Angelo
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Key Map



Application
Address



Committee of Adjustment Planning
and Building Department
Development and Infrastructure Division

GENERAL:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMAINS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
- ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
- BUILDING ENVELOPES SHOWN ARE LOCATED BASED ON ZONING REQUIREMENTS.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:

- BUILDING PERMIT
- ROAD CUTS PERMITS
- APPROACH APPROVAL PERMITS
- COMMITTEE OF ADJUSTMENT
- SEWER AND WATER PERMITS
- RELOCATION OF SERVICES
- ENCROACHMENT AGREEMENTS (IF REQ'D)

- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
- ALL DISTURBED GRASSED AREAS MUST BE REINSTATED WITH 150 mm TOPSOIL AND NURSERY SOD PER OPSS 803.
- ALL RESTORATION MUST BE COMPLETED TO REGION OF HALTON AND CITY OF BURLINGTON STANDARDS.
- ALL CATCH BASINS ADJACENT TO THE SITE SHALL BE PROTECTED WITH SILT SACS PER TYPICAL DETAIL THIS DRAWING.
- TREE PROTECTION SHALL BE ERECTED ACCORDING TO CITY OF BURLINGTON TREE PRESERVATION GUIDELINE SS112A.
- INSPECTION AND/OR EXCAVATION INSIDE TREE HOARDING MUST BE UNDERTAKEN WITH THE USE OF A HYDRO-EXCAVATION EQUIPMENT.

ROADWORKS:

- ALL ROAD RESTORATION IS TO BE COMPLETED IN ACCORDANCE WITH CITY OF BURLINGTON STANDARD DRAWING S-114, S114B AND S-125A.

PRIVATE DRAINS:

- BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO LANDSCAPED AREAS VIA SPLASH PADS A MIN. OF 0.6m FROM THE BUILDING FACE.
- SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEEPING TILES TO GRADE VIA CONCRETE SPLASH PADS A MIN. OF 0.6m AWAY FROM THE FOUNDATION WALL. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO GRADE.

GRADING:

- LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF BURLINGTON LOT GRADING POLICY.
- ALL ELEVATIONS ALONG AFFECTED PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
- ALL IMPORTED FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
- ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
- ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
- ALL DISTURBED BOULEVARD AREAS ARE TO BE REINSTATED WITH 100mm TOPSOIL AND NO. 1 NURSERY SOD IN ACCORDANCE WITH OPSS 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

REGIONAL APPROVAL:

REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____

DATED: _____

INFRASTRUCTURE PLANNING & POLICY

The Applicant show be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-825-6032) Furthermore, all water quality tests must be completed to Halton Region's satisfaction, before the water supply can be turned on.

GENERAL GRADING NOTES:

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SODDED SLOPES (MIN 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.10m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.ENG.
- SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES)
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MIN. 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7%. REVERSE SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM OF 95% SPD, UNLESS OTHERWISE SPECIFIED.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
- LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER

STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

18. EXISTING GRAVEL ARE AROUND THE CITY TREE ALONG CAROLINE IS TO BE CAREFULLY REMOVED, TOP SOIL ADDED AND RE-SODDED.

COMPACTION REQUIREMENTS:

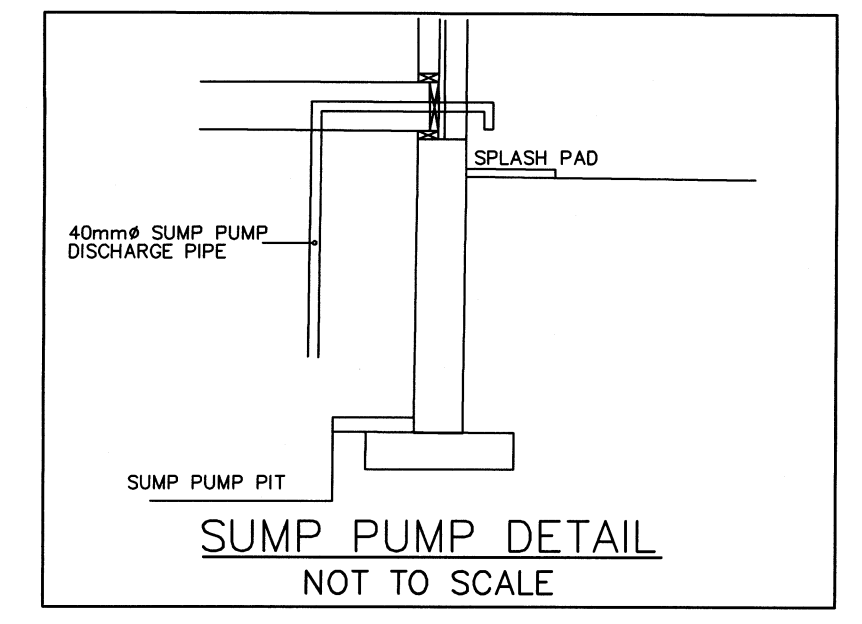
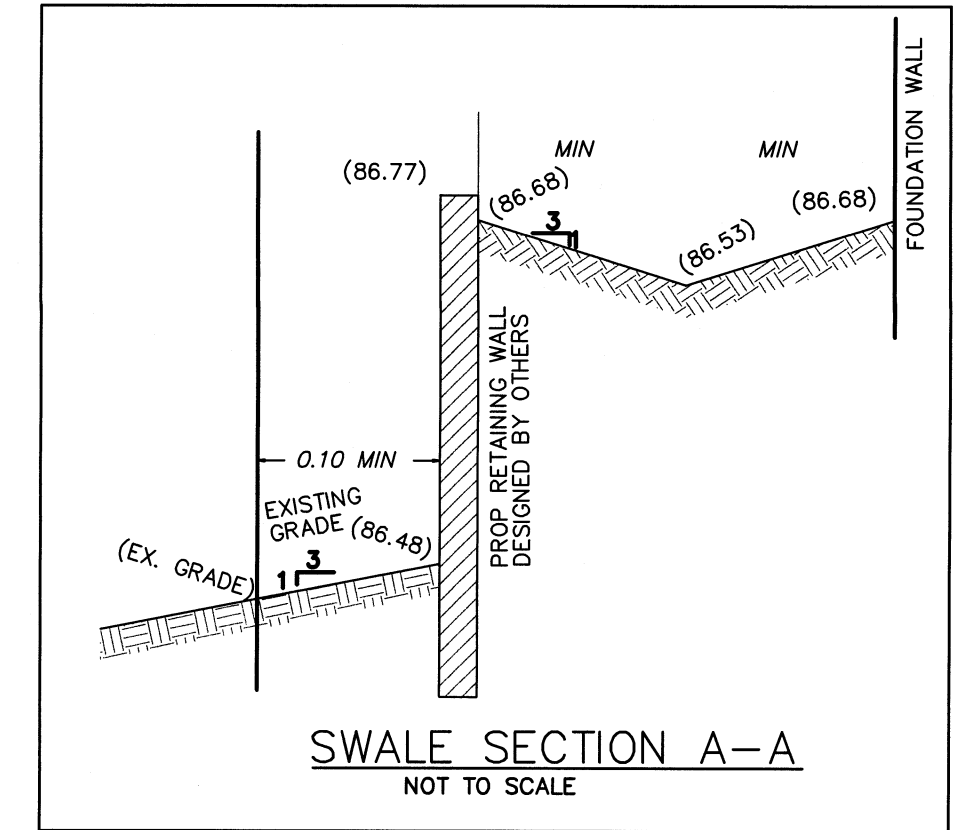
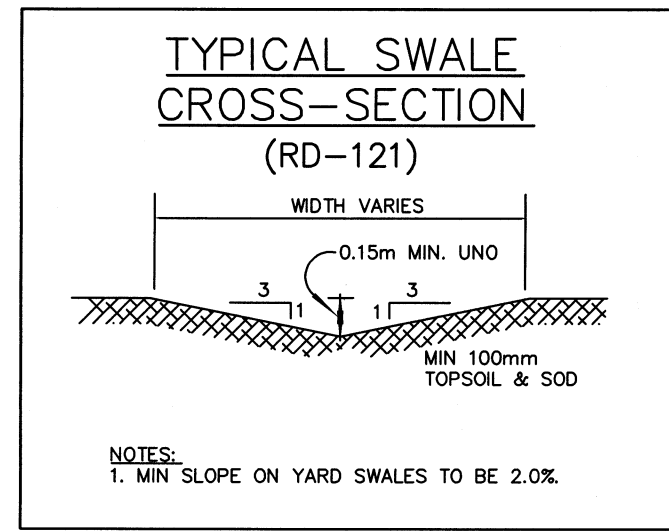
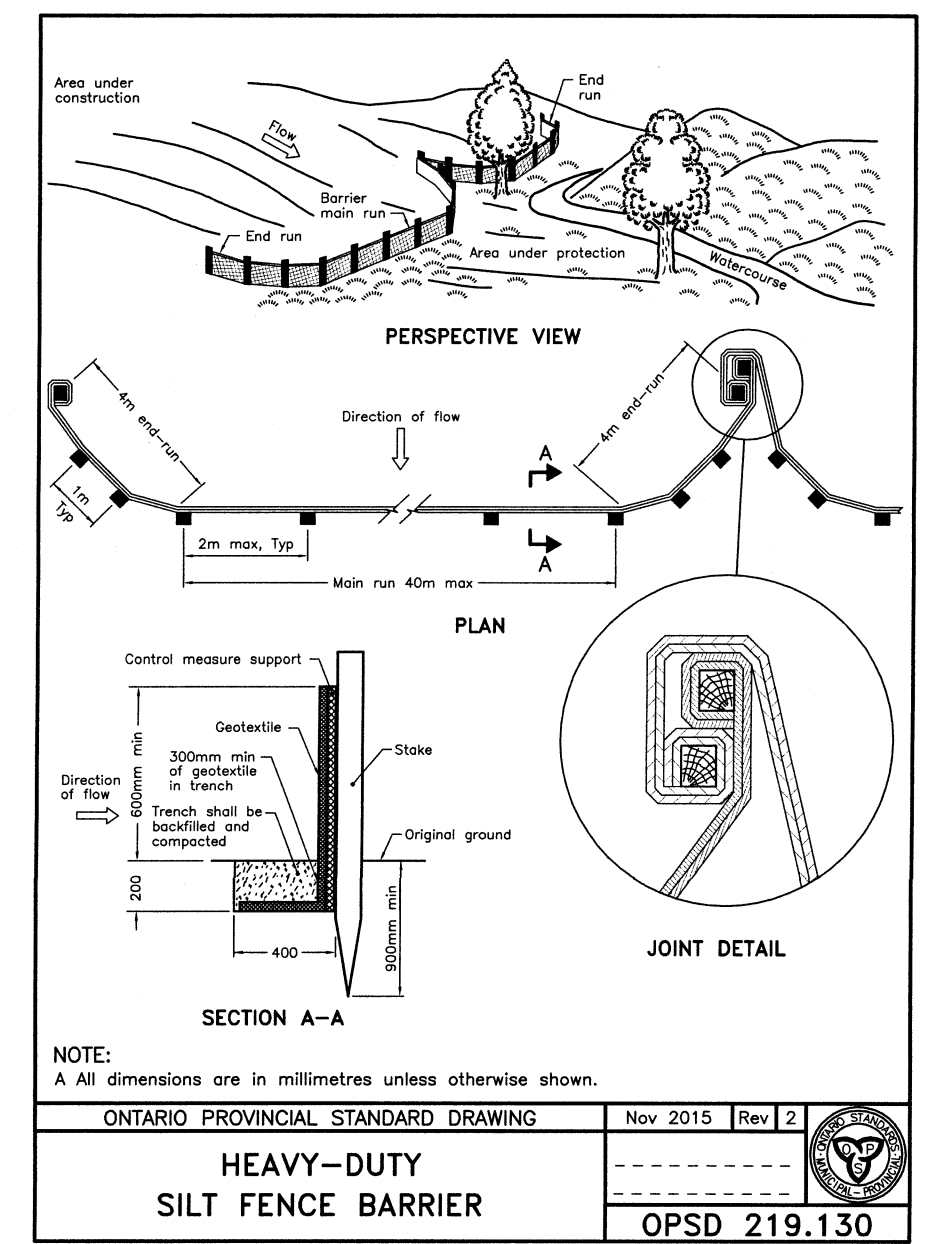
- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPD UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPD.

SILTATION AND EROSION CONTROL:

- SILT FENCE IN ACCORDANCE WITH OPSD 219.130 SHALL BE PLACED AROUND THE SITE AND AS REQUIRED BY THE CITY OF BURLINGTON AND REGION OF HALTON. SILT FENCE MUST BE INSPECTED FOLLOWING ALL RAIN EVENTS AND MAINTAINED TO THE SATISFACTION OF THE CITY OF BURLINGTON AND THE REGION OF HALTON.

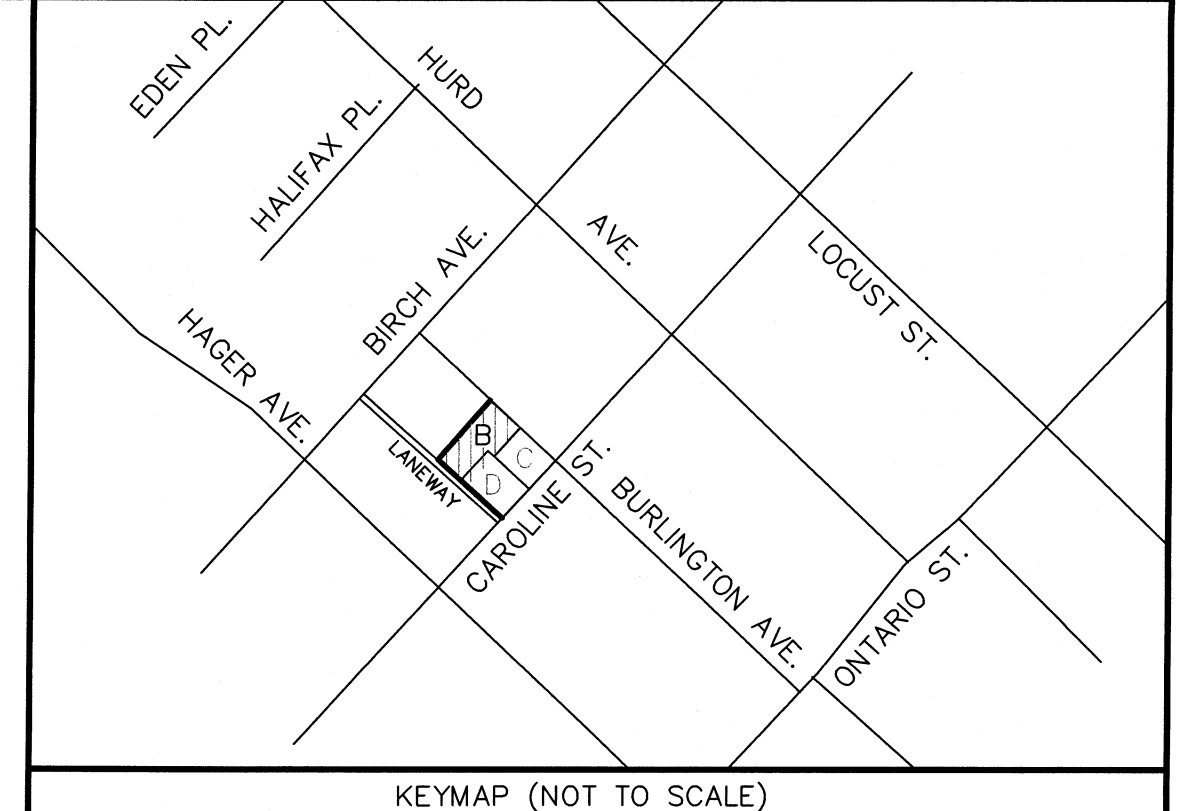
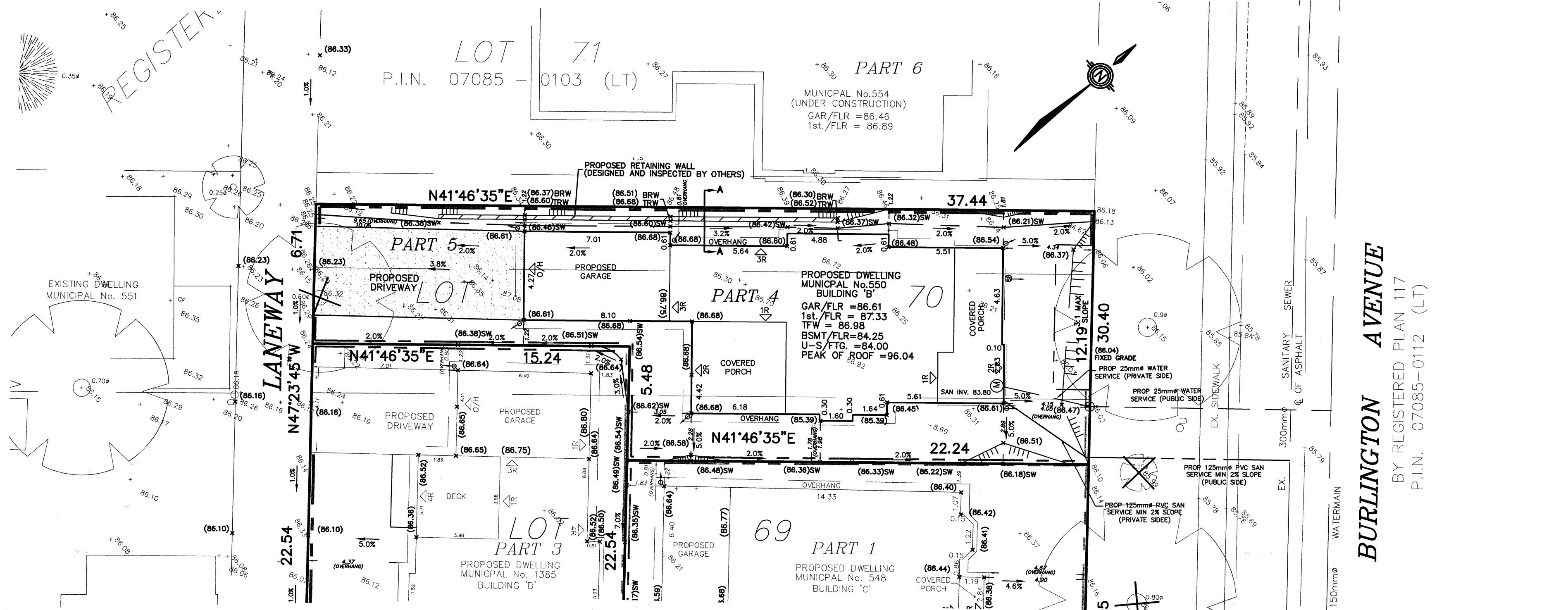
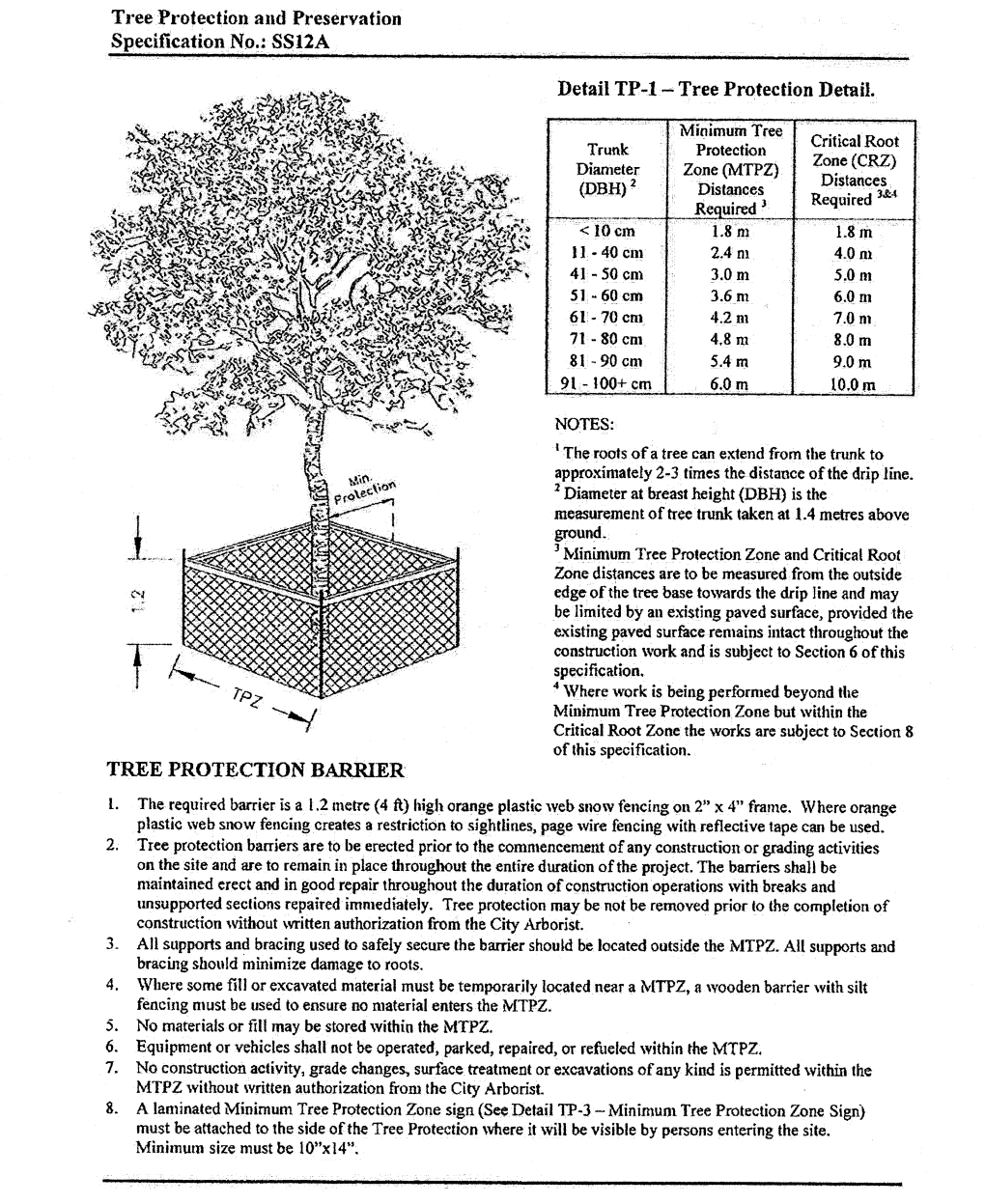
BACKYARD GRADING:

- DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
- THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
- THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM 2 ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF CONSTRUCTION.
- THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3H:1V)



BUILDING "B"	REQUIRED	PROPOSED
LOT FRONTAGE	12.1	12.2 m (Min.)
LOT AREA	373 m ² (Min.)	373 m ² (Min.)
LOT COVERAGE	31% (Max.)	31%
FRONT YARD SETBACK	4.0 m (Dwelling) 4.0 m (Overhang)	4.15 m (Dwelling) 4.05 m (Overhang)
REAR YARD SETBACK	9.0 m	10.1 m
NORTH YARD SETBACK	1.2 m	1.2 m
SOUTH YARD SETBACK	1.2 m	1.2 m
HEIGHT (PEAK OF ROOF)	10.0 m	10.0 m
BUILDING AREA (FOOT PRINT EXC DECKS/PORCHES)		147.8 m ²

* R.3.2 ZONING APPLIES IF NOT GIVEN



LEGEND

- (83.75) SW PROPOSED SWALE ELEVATION
- 83.44 EXISTING ELEVATION
- (83.75) PROPOSED ELEVATION
- 4.0% PROPOSED SURFACE FLOW DIRECTION & GRADE
- PROPOSED SWALE
- SILT FENCE & LIMIT OF GRADING
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- PROPOSED ENTRANCE LOCATION
- TREE PROTECTION ZONE
- LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS
- LOCATION AND DIRECTION OF FLOW FOR SUMP PUMP

DRAWING NOTES:

SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM PLAN BY PEARCE SURVEYING INC. DATED JULY 2015.

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET DIVIDING BY 0.3048.

CAUTION
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

No.	DATE	BY	DESCRIPTION
1	JUN. 09, 2020	AN	ISSUED FOR REVIEW

REVISIONS

ENGINEER'S STAMP

REGISTERED PROFESSIONAL ENGINEER
A.M. NAJM
100134466
PROVINCE OF ONTARIO
FOR REVIEW ONLY NOT FOR CONSTRUCTION

PLAN SHOWING
PROPOSED SITE & GRADING PLAN
ON
Parts of Lot 69 & 70, Plan No. 117
BEING
550 BURLINGTON ST.
CITY OF BURLINGTON

ASHENHURST NOUWENS & ASSOCIATES INC.
Professional Engineers & Ontario Land Surveyors
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6651 e-mail: ani@ashenhurstnouwens.com

BENCHMARK
LOCAL ELEVATION ARE DERIVED FROM A NAIL IN THE PAVEMENT OPPOSITE No. 4076, HAVING AN ELEVATION OF 100.00m.

DWN BY:	CHK BY:	DWG No.
AN		15225 SGP 3

SCALE: 1 : 150
DATE: JUNE 09, 2020

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Cameryn Lanes Building "B"

CONTACT INFORMATION

PROJECT: CAMERYN LANES
BUILDER: MAURICE DESROCHERS
STRUCTURAL ENGINEER: STRICK BALDINELLI & MONIZ LTD.
 AARON STRICK, 519.471.6667, AARON@SBMLTD.CA
HVAC DESIGNER: CM DESIGNS
 CHRIS & MARIE MISENER, CMISENERDESIGN@GMAIL.COM, 905.741.8121
FLOOR/TRUSS SUPPLIER: TAMARACK LUMBER
 DOMENIC FERRELLI, DF@TAMARACKLUMBER.CA, 905.335.1115

DRAWING LIST

- | | |
|------|---|
| A0 | - TITLE PAGE |
| A001 | - GENERAL NOTES |
| A101 | - BASEMENT & MAIN FLOOR PLAN |
| A102 | - SECOND FLOOR & ROOF PLAN |
| A201 | - FRONT & LEFT SIDE ELEVATIONS |
| A202 | - REAR & RIGHT SIDE ELEVATIONS |
| A301 | - CROSS-SECTIONS |
| A401 | - DETAILS & WINDOW SCHEDULE |
| E101 | - ELECTRICAL - BASEMENT & MAIN FLOOR PLAN |
| E102 | - ELECTRICAL - SECOND FLOOR PLAN |

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1	08.18.19	RE-ISSUED FOR VARIANCE

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 INDIVIDUAL: JCN 2472
 10.1.2019
WILLIAMS
 RESIDENTIAL DESIGN
 461 Burlington Avenue
 Burlington, Ontario
 L7S 1R9
 905-637-3274

TITLE PAGE
 Scale AS NOTED
 Date Oct. 1, 19

Cameryn Lanes Building 'B'
 550 Burlington Ave.
 Burlington Ontario
 L7S 1R9

Drawn By CB
 Approved By JW
 Job Number CAMB
 Sheet
A0
 OF 5

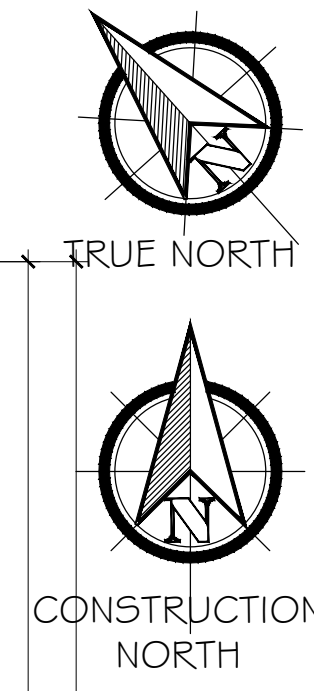
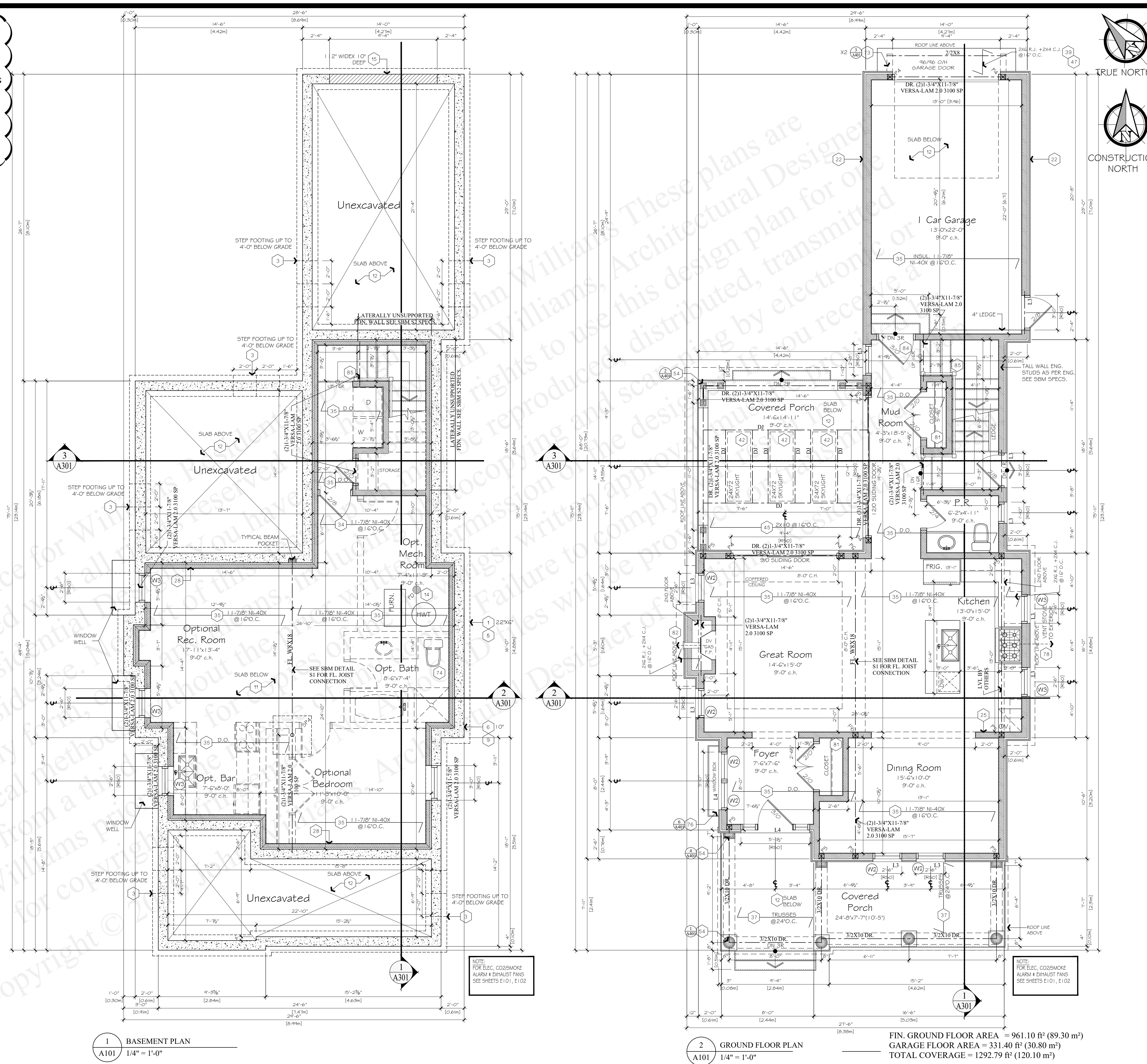
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BSMNT & GROUND FLOOR PLANS
 Scale: AS NOTED
 Date: Oct. 1, 19

Cameryn Lanes Building 'B'
 550 Burlington Ave.
 Burlington Ontario
 L7S 1R9

Drawn By: CB
 Sheet: A101
 Approved By: JW
 Job Number: CAM.B
 OF 5

**PRELIMINARY DRAWING
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1 BASEMENT PLAN
 A101 1/4" = 1'-0"

2 GROUND FLOOR PLAN
 A101 1/4" = 1'-0"

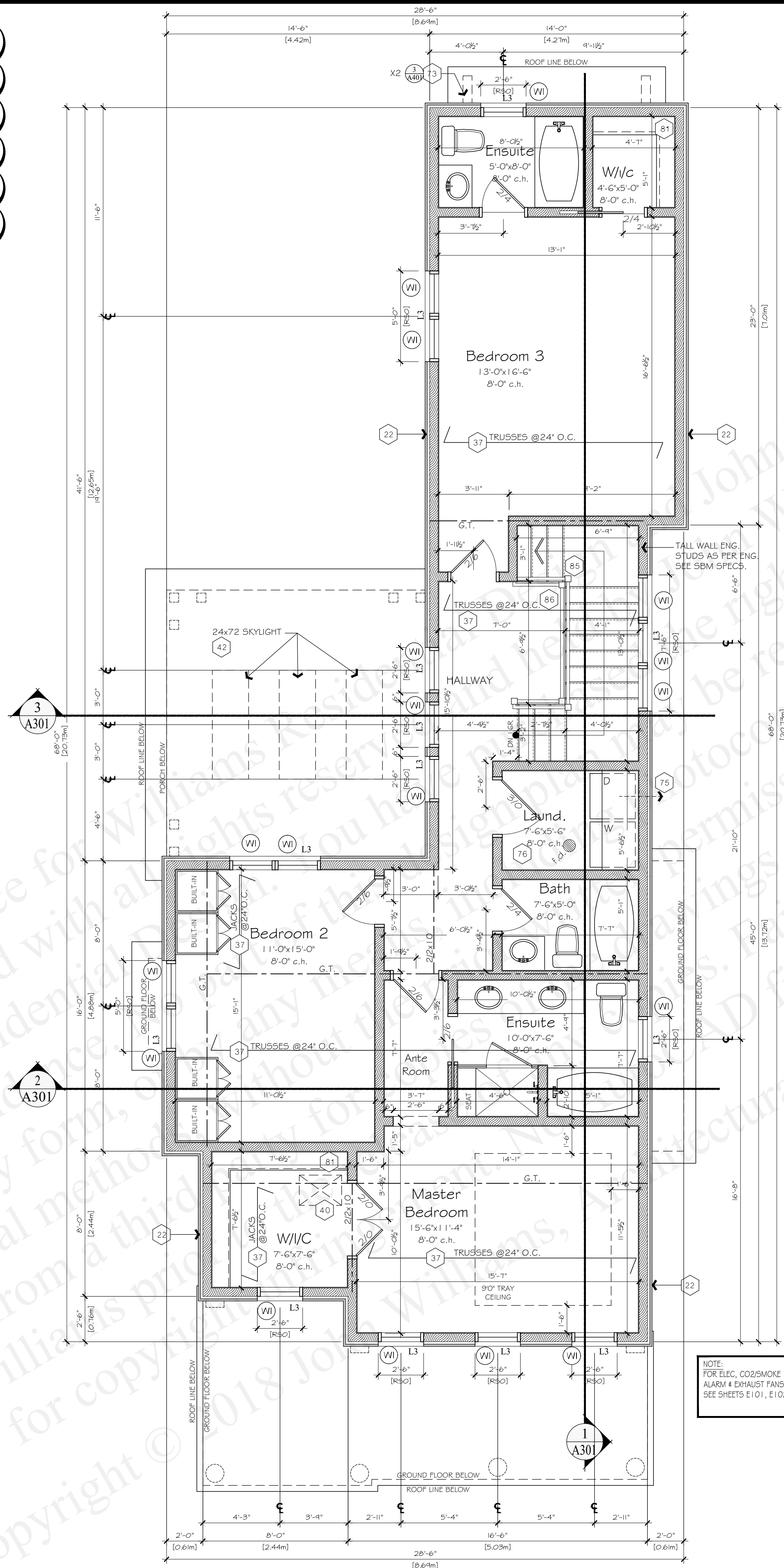
FIN. GROUND FLOOR AREA = 961.10 ft² (89.30 m²)
 GARAGE FLOOR AREA = 331.40 ft² (30.80 m²)
 TOTAL COVERAGE = 1292.79 ft² (120.10 m²)

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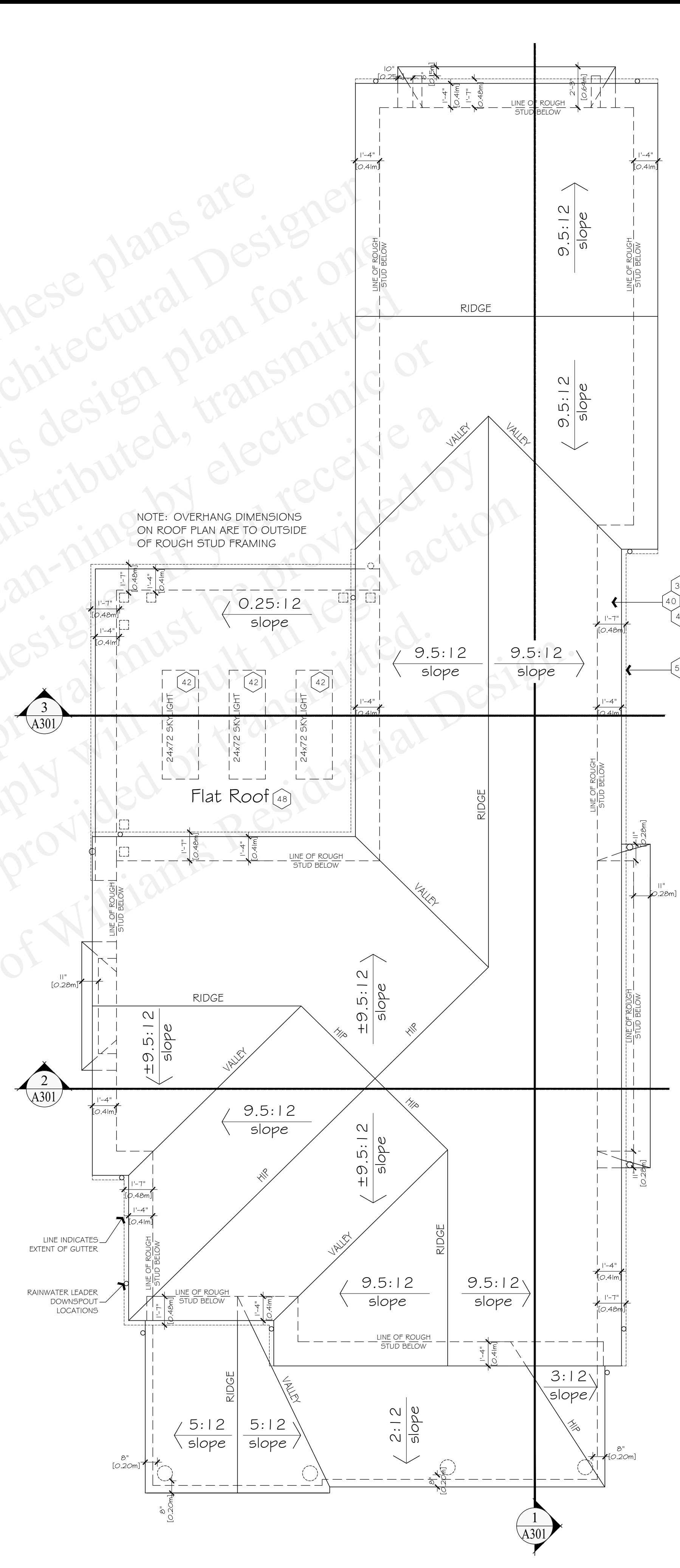
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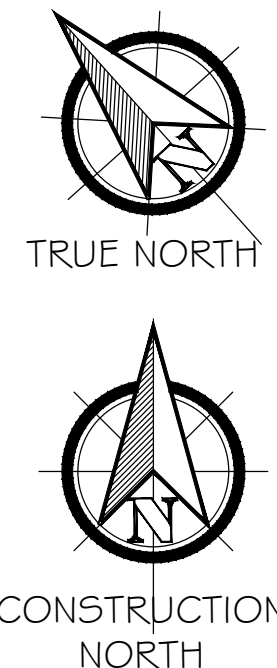
1 SECOND FLOOR PLAN
 1/4" = 1'-0"
 SECOND FLOOR AREA: = 1253.8 sq.ft. (116.5 s.m.)

NOTE:
 FOR ELEC. CO2/SMOKE
 ALARM & EXHAUST FANS
 SEE SHEETS E101, E102



2 ROOF PLAN
 1/4" = 1'-0"

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 905-637-3274

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 INDIVIDUAL REG. NO. 2472

10.1.2019

Cameryn Lanes Building 'B'
 550 Burlington Ave.
 Burlington Ontario
 L7S 1R9

Second Floor Plan & Roof Plan

Scale: AS NOTED
 Date: Oct. 1, 19

Drawn By: CB
 Approved By: JW
 Job Number: CAM.B

Sheet: A102 OF 5

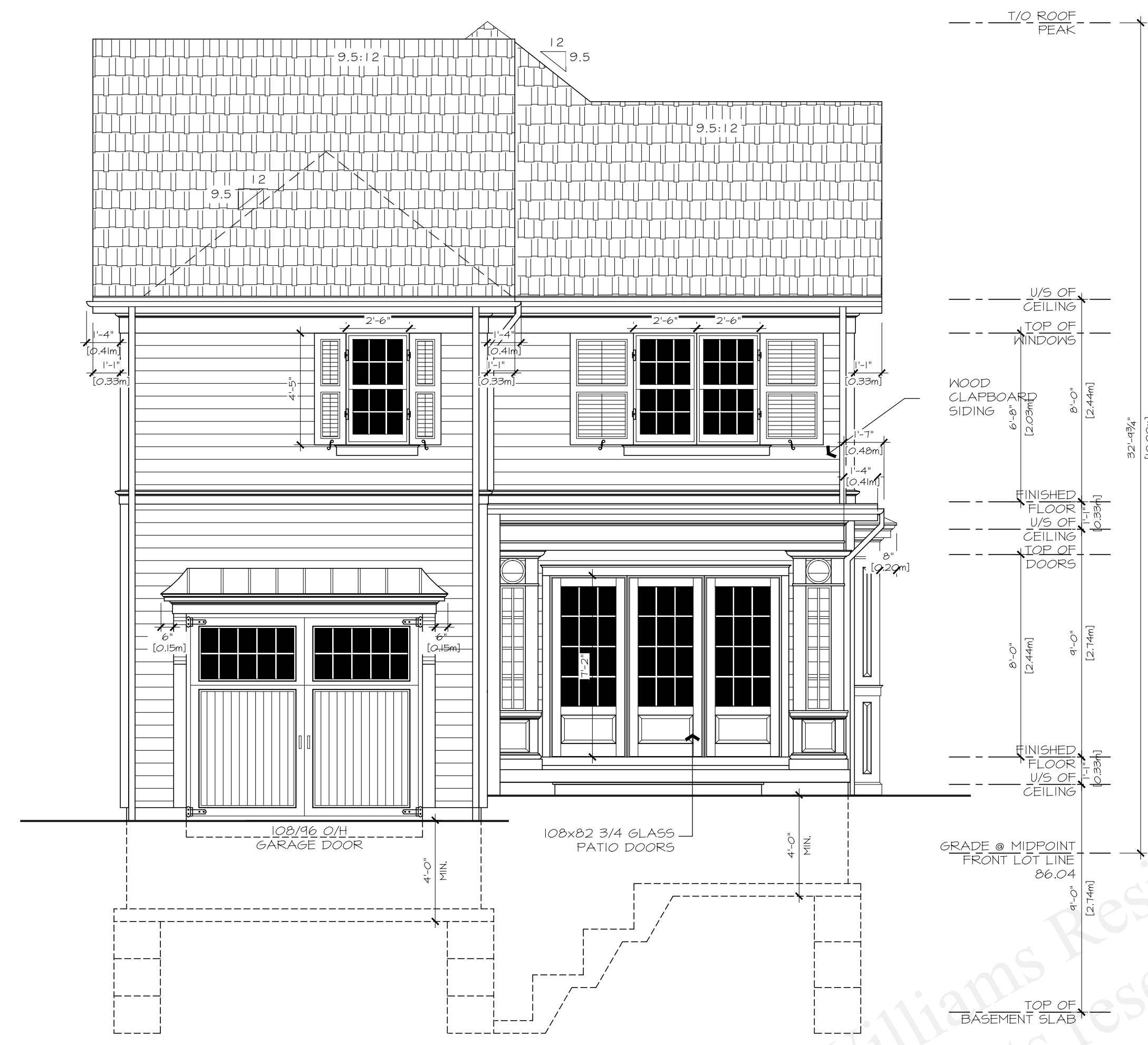
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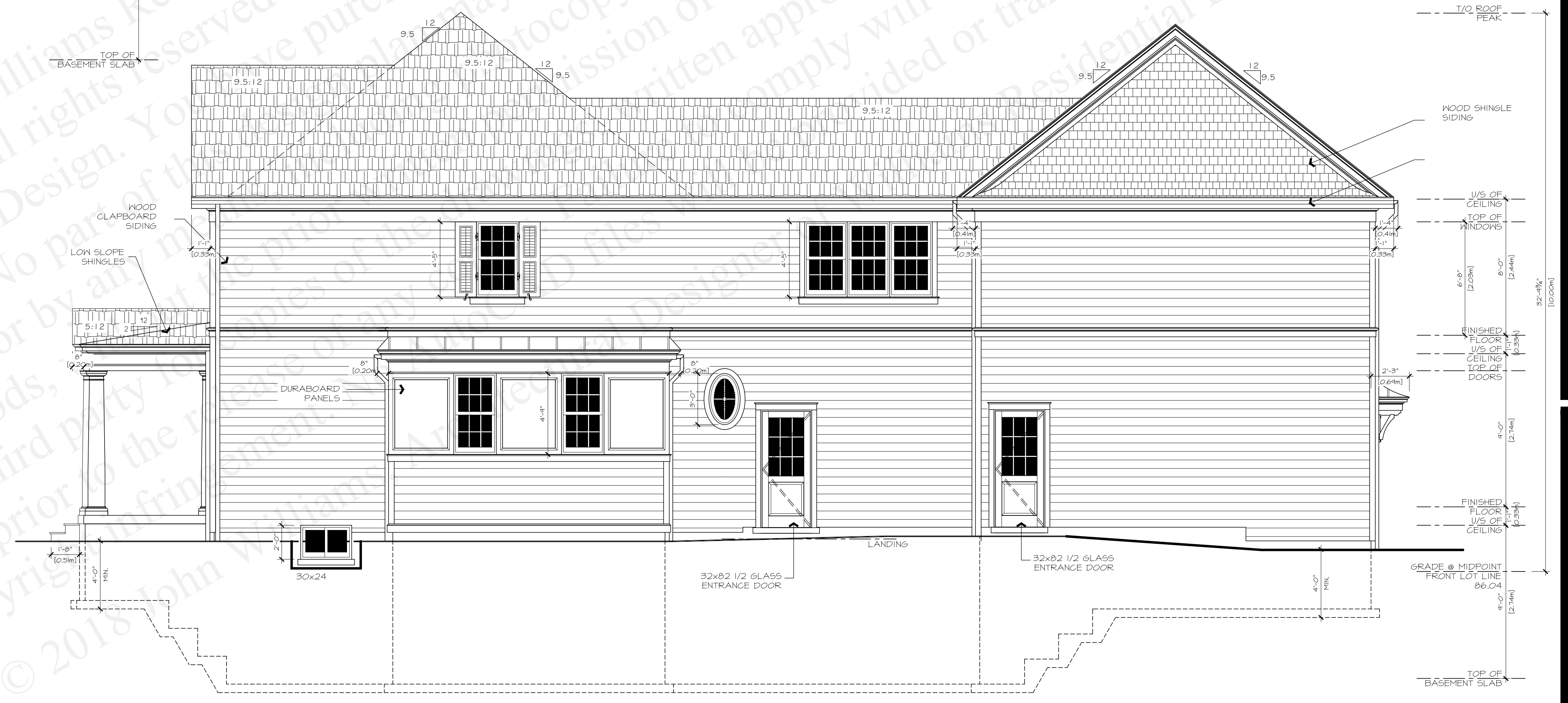
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1 REAR ELEVATION
A201 1/4" = 1'-0"



2 RIGHT ELEVATION
A201 1/4" = 1'-0"

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FRONT & RIGHT ELEVATIONS

Scale: AS NOTED

Date: Oct. 1, 19

Cameryn Lanes Building 'B'
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L7S 1R9

Drawn By: CB
Approved By: JW
Job Number: CAM.B
Sheet: A201 OF 5

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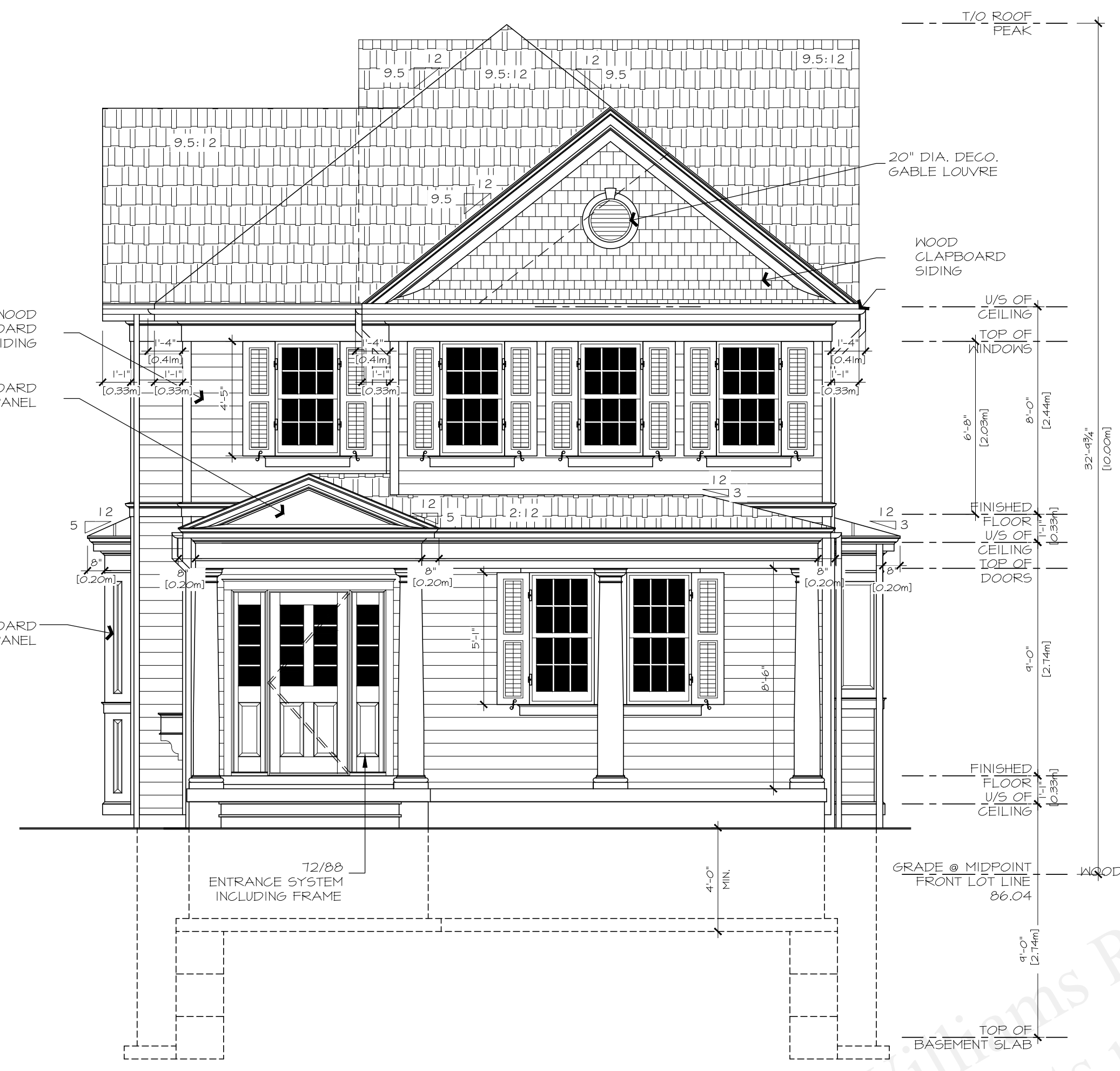
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1 FRONT ELEVATION
A202 1/4" = 1'-0"



2 LEFT ELEVATION
A202 1/4" = 1'-0"

FULL HOUSE EEDS AREA CALCS.

WALL AREA = 310.5 sq.m. (3342.5 sq.ft.)

WINDOW/DOOR AREAS = 24.6 sq.m. (264.9 sq.ft.)

WINDOW/DOOR AREA % = 7.9%

THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DRAWINGS ARE THE PROPERTY OF WILLIAMS RESIDENTIAL DESIGN AND WILL NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.

No.	DATE	DESCRIPTION
1	08.18.19	REISSUED FOR VARIANCE

WILLIAMS
RESIDENTIAL DESIGN

461 Burlington Avenue
Burlington, Ontario
L7S 1R9
905-637-3274

SIGNATURE REQUIRED
JOHN WILLIAMS REVIEWS AND TAKES RESPONSIBILITY FOR THIS DESIGN WORK DESCRIBED IN THIS DOCUMENT
DESIGN COMPANY RCIN 31437
INDIVIDUAL RCIN 2472

10.1.2019

REAR & LEFT ELEVATIONS

Scale AS NOTED

Date Oct. 1, 19

Cameryn Lanes Building 'B'
550 Burlington Ave.
Burlington Ontario
L7S 1R9

Drawn By CB Sheet
Approved By JW A202
Job Number CAMB OF 5

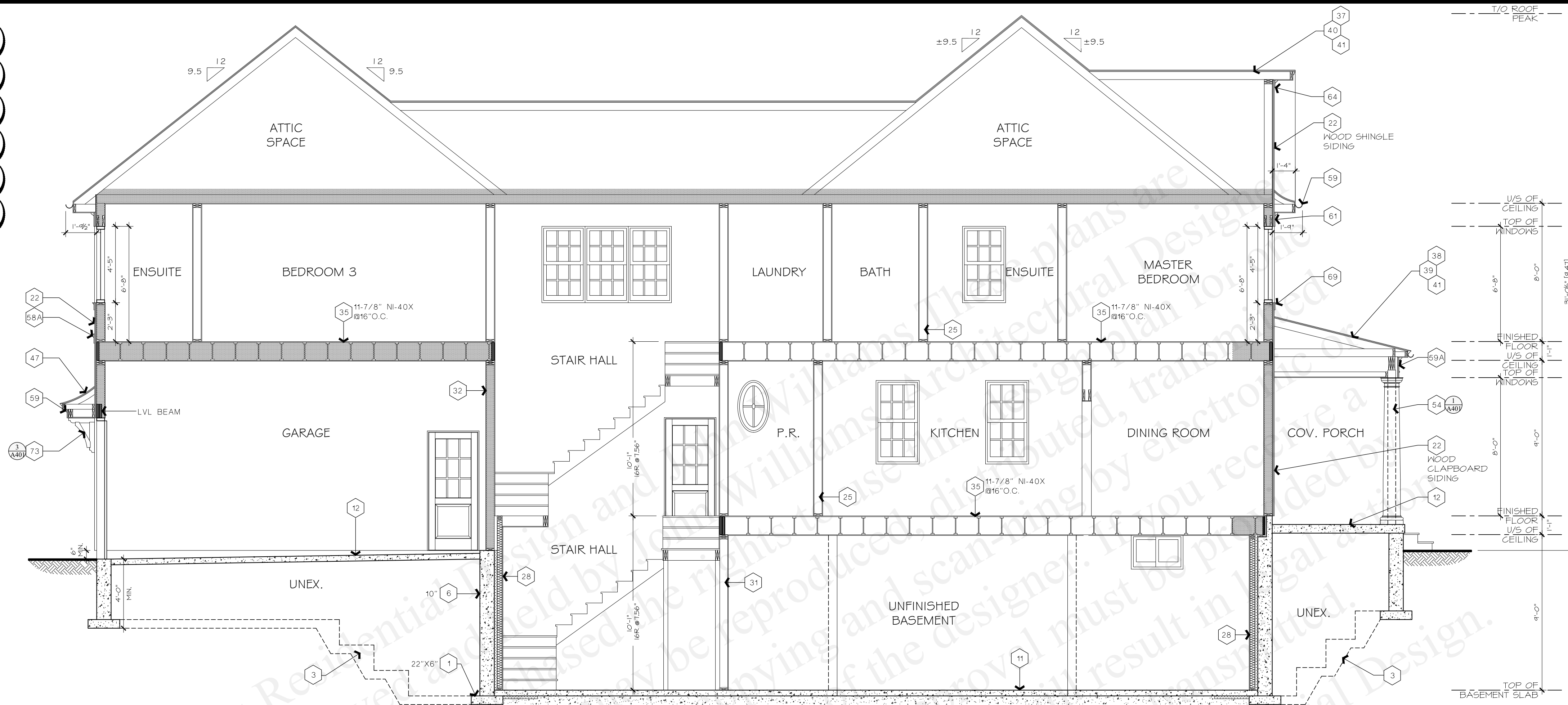
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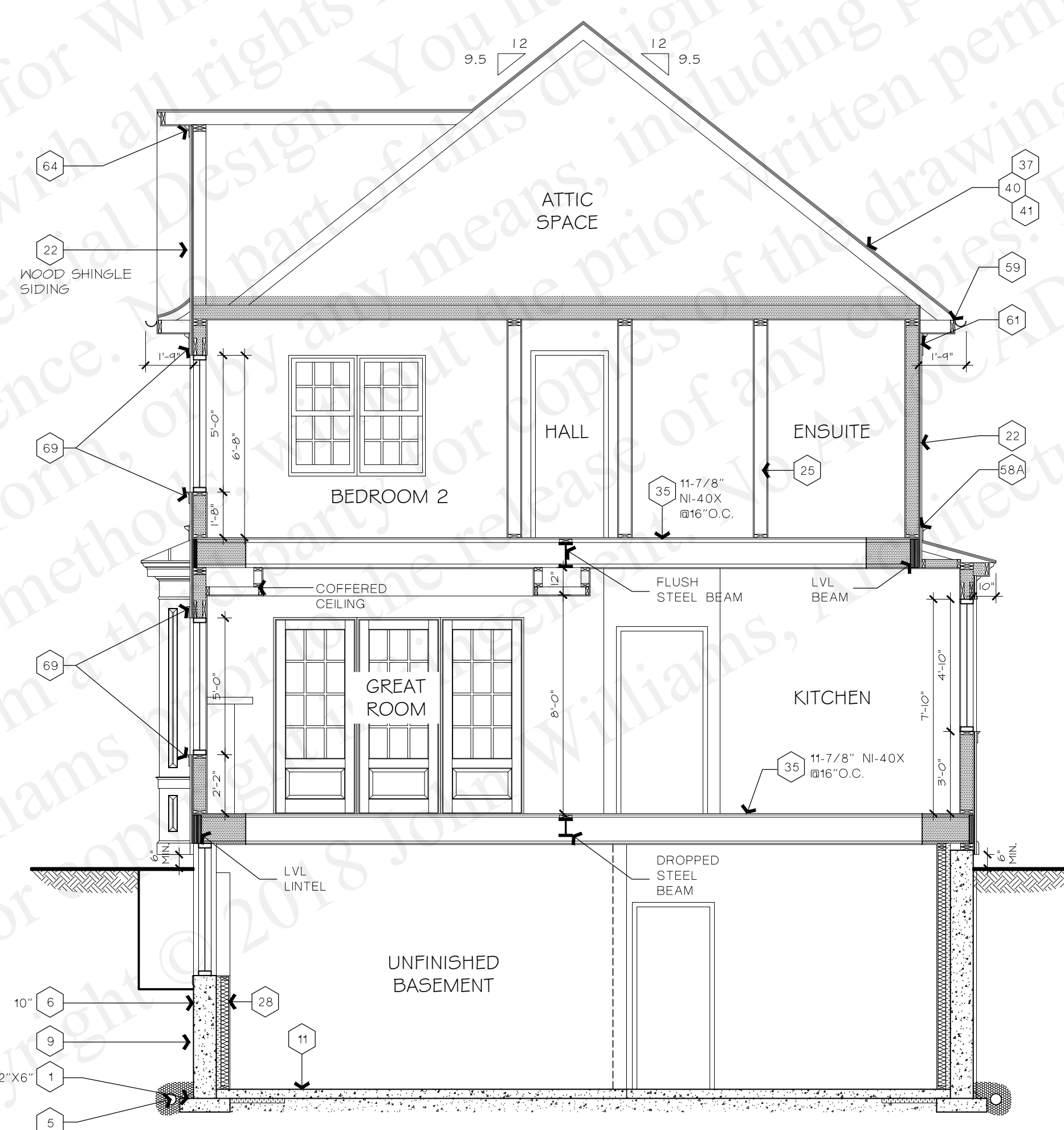
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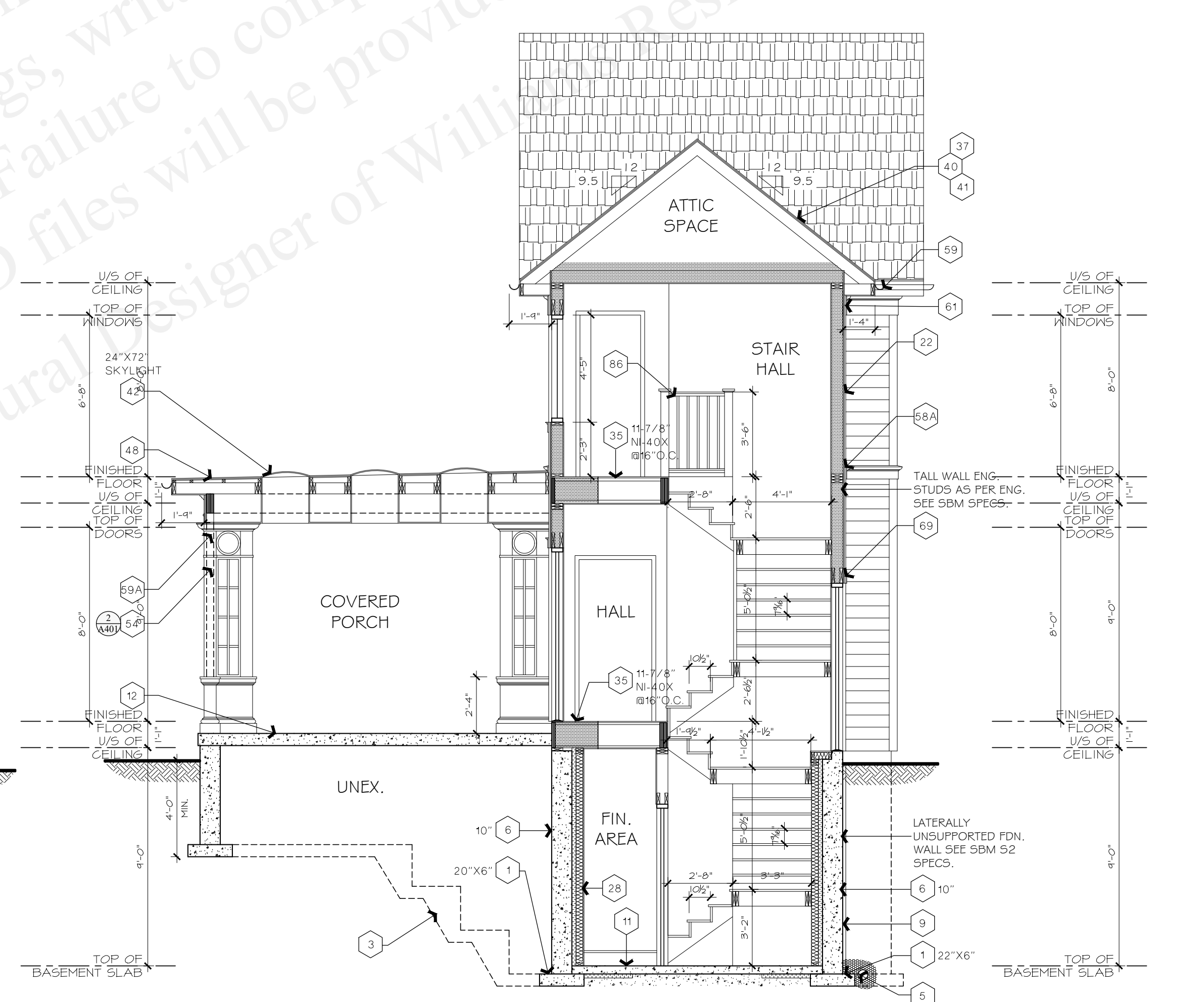
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1 CROSS-SECTION 1
 A301 1/4" = 1'-0"



2 CROSS-SECTION 2
 A301 1/4" = 1'-0"



3 CROSS-SECTION 3
 A301 1/4" = 1'-0"

**PRELIMINARY DRAWING
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 INDIVIDUAL BCIN 2472

10.1.2019

WILLIAMS
 RESIDENTIAL DESIGN
 461 Burlington Avenue
 Burlington, Ontario
 905-637-3274

CROSS-SECTIONS

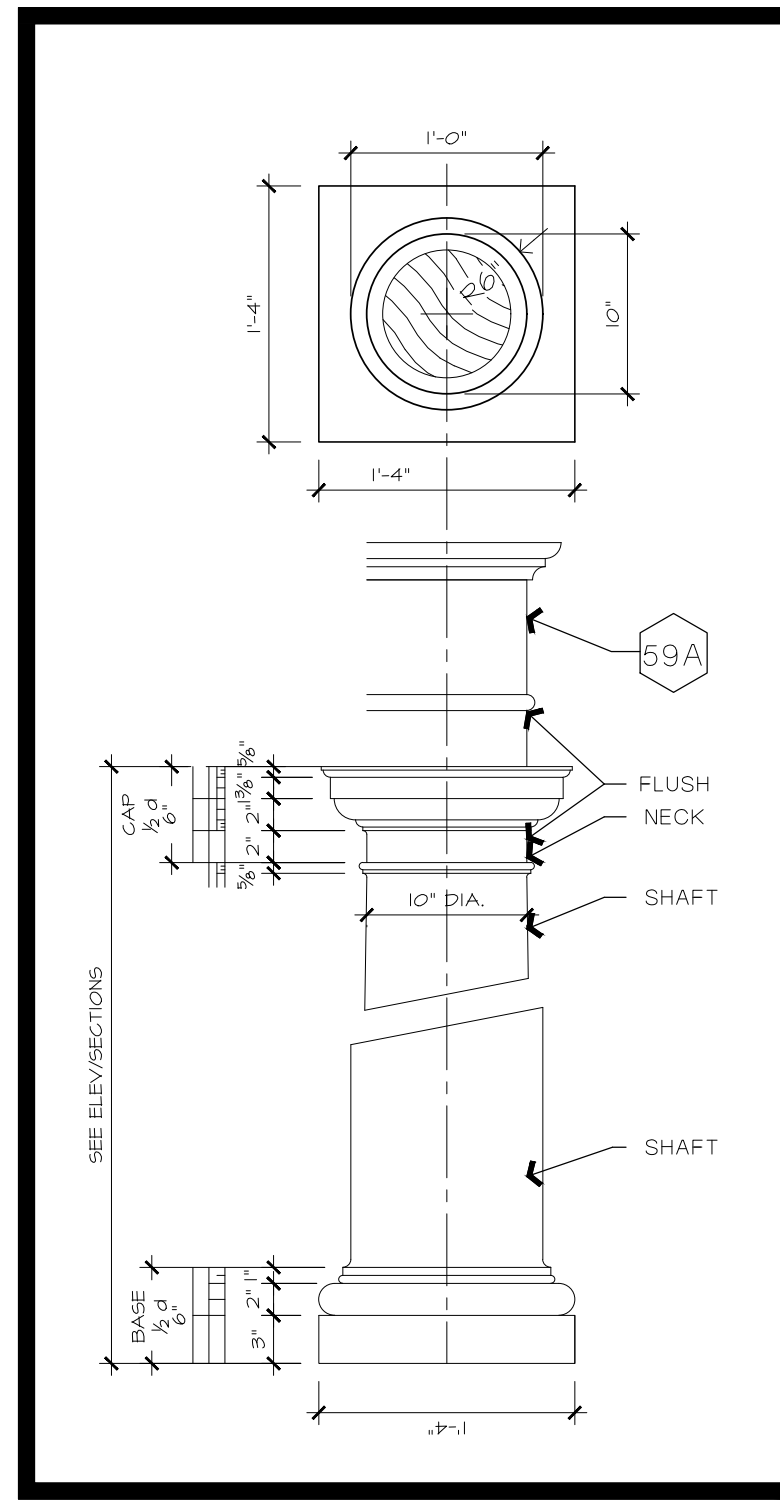
Scale AS NOTED
 Date Oct. 1, 19

Camryn Lanes Building 'B'
 550 Burlington Ave.
 Burlington Ontario
 L7S 1R9

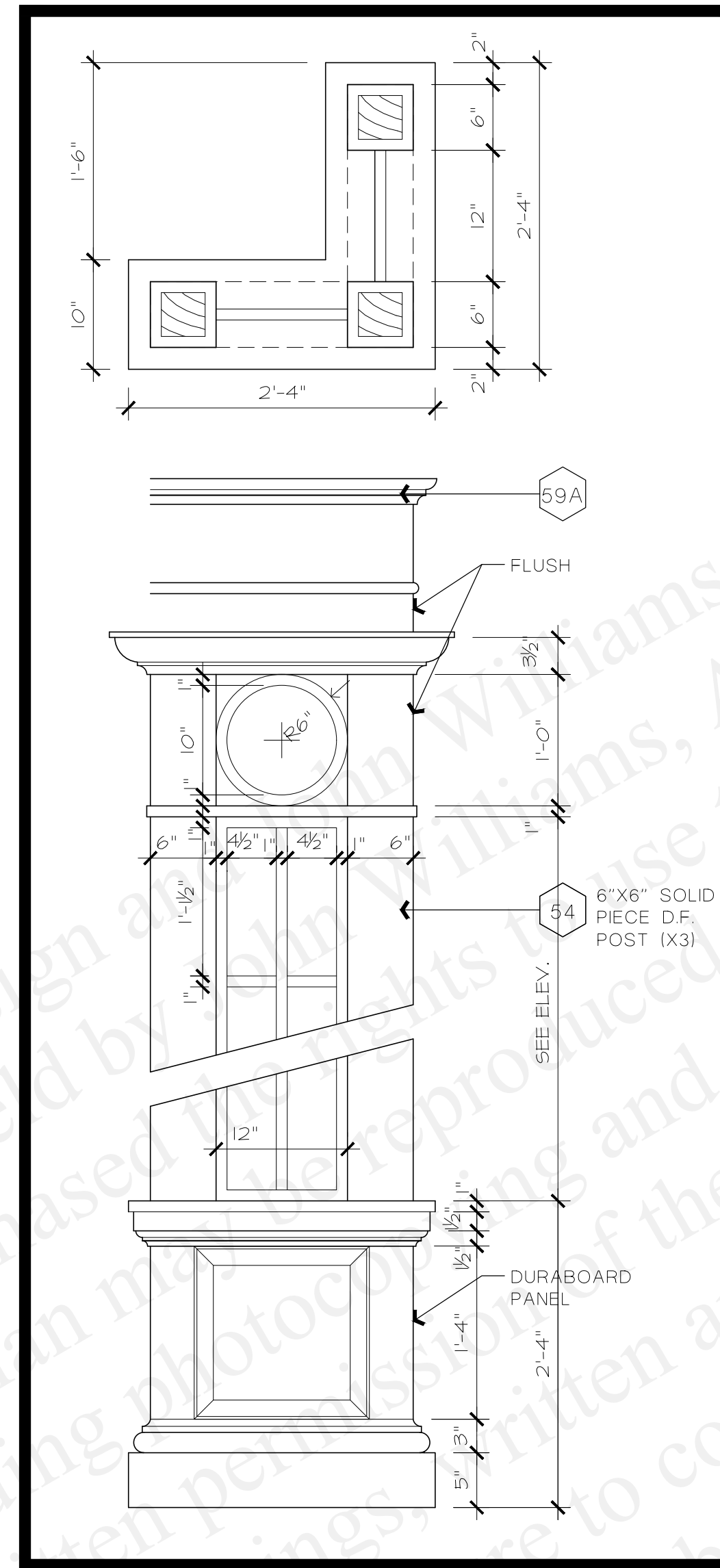
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 Approved By JW
 Job Number CAMB
 Sheet A301
 OF 5

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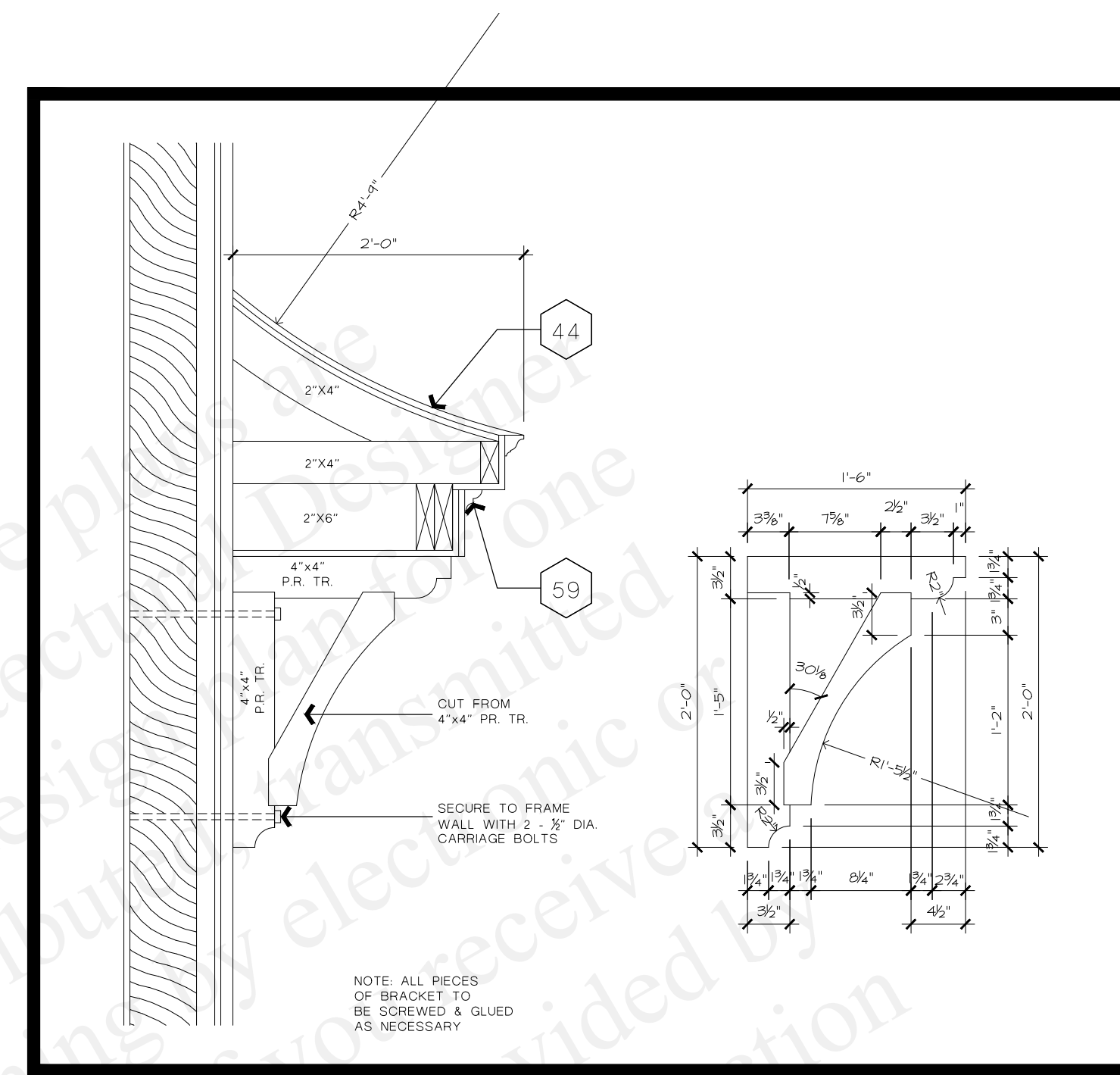
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1 PORCH POST DETAIL
A401 1" = 1'-0"



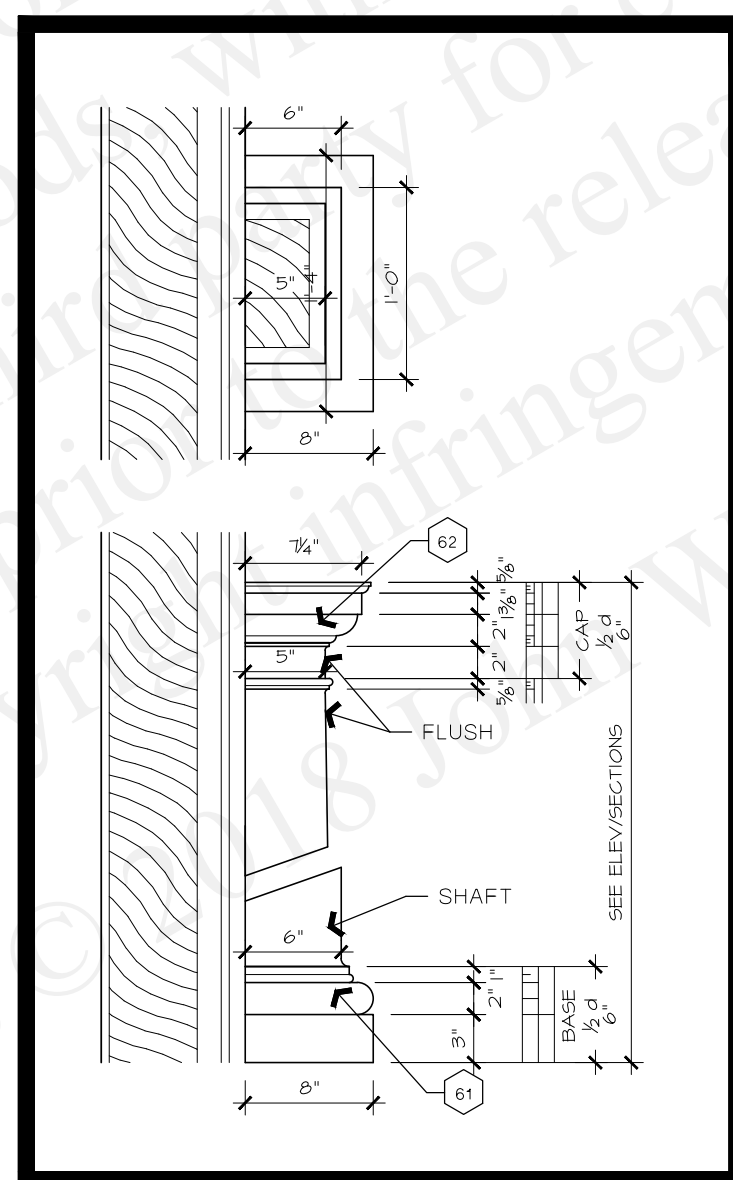
2 PORCH POST DETAIL
A401 1" = 1'-0"



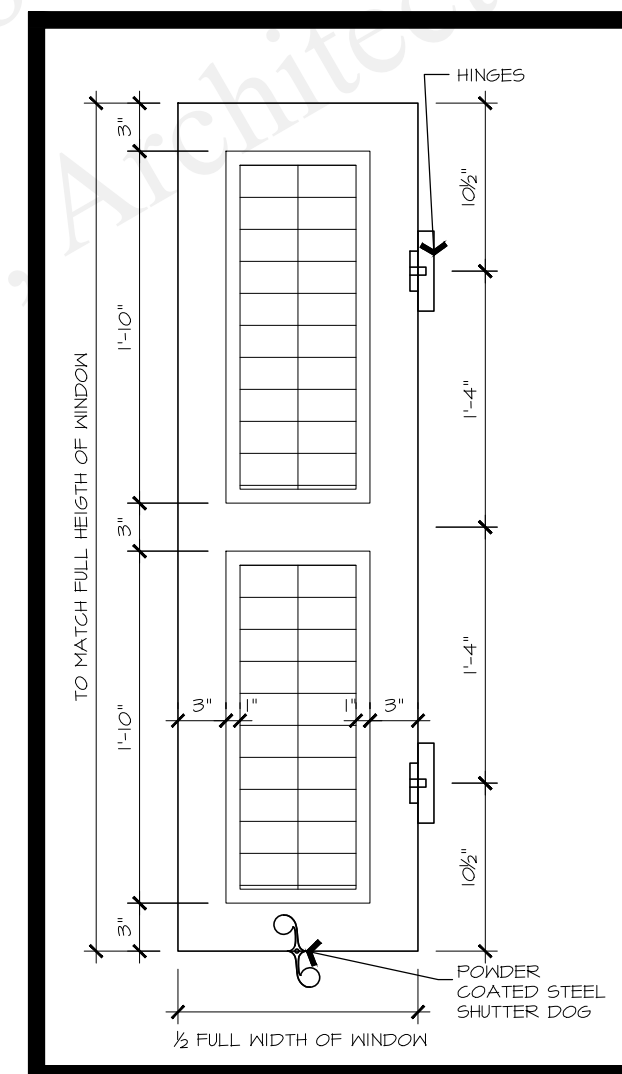
3 ROOF & BRACKET DETAIL
A401 1" = 1'-0"

FRAME SIZE RGT. OPG. GLASS SIZE	(W1) x18	(W2) x6	(W3) x5
2'-6"	2'-6"	2'-6"	2'-6"
2'-5-1/2"	2'-5-1/2"	2'-6 1/2"	2'-6 1/2"
24"	24"	24"	24"
4'-5"	4'-9"	4'-9"	4'-9"
4'-4-7/16"	4'-9-7/16"	4'-9-7/16"	4'-9-7/16"
22"	26"	24"	24"
UDH2422	UDH2426	UDH2424	
LTD A = 7.0ft ² (0.65m ²)	LTD A = 8.67ft ² (0.81m ²)	LTD A = 8.0ft ² (0.74m ²)	
R50 A = 10.9ft ² (1.01m ²)	R50 A = 12.71ft ² (1.18m ²)	R50 A = 11.76ft ² (1.09m ²)	

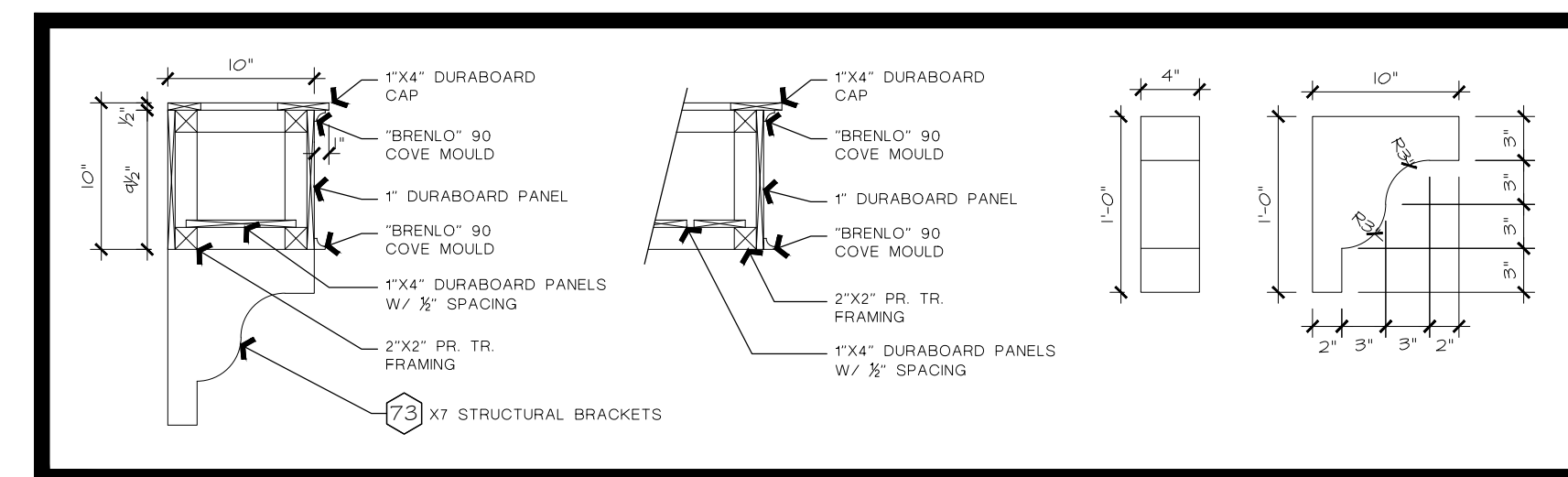
7 WINDOW SCHEDULE
A401 3/8" = 1'-0"



4 ENGAGED POST DETAIL
A401 1" = 1'-0"



5 SHUTTER DETAIL
A401 1" = 1'-0"



6 WINDOW BOX DETAIL
A401 1" = 1'-0"

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No.	DATE	DESCRIPTION
1	08.18.19	REISSUED FOR VARIANCE

10.1.2019

SIGNATURE REQUIRED
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DESIGN COMPANY IBCN 3147
INDIVIDUAL IBCN 2472

WILLIAMS
RESIDENTIAL DESIGN

461 Burlington Avenue
Burlington, Ontario
905-637-3274

**DETAILS & WINDOW
SCHEDULE**

Scale AS NOTED
Date Oct. 1, 19

**Cameryn Lanes
Building 'B'**
550 Burlington Ave.
Burlington Ontario
L7S 1R9

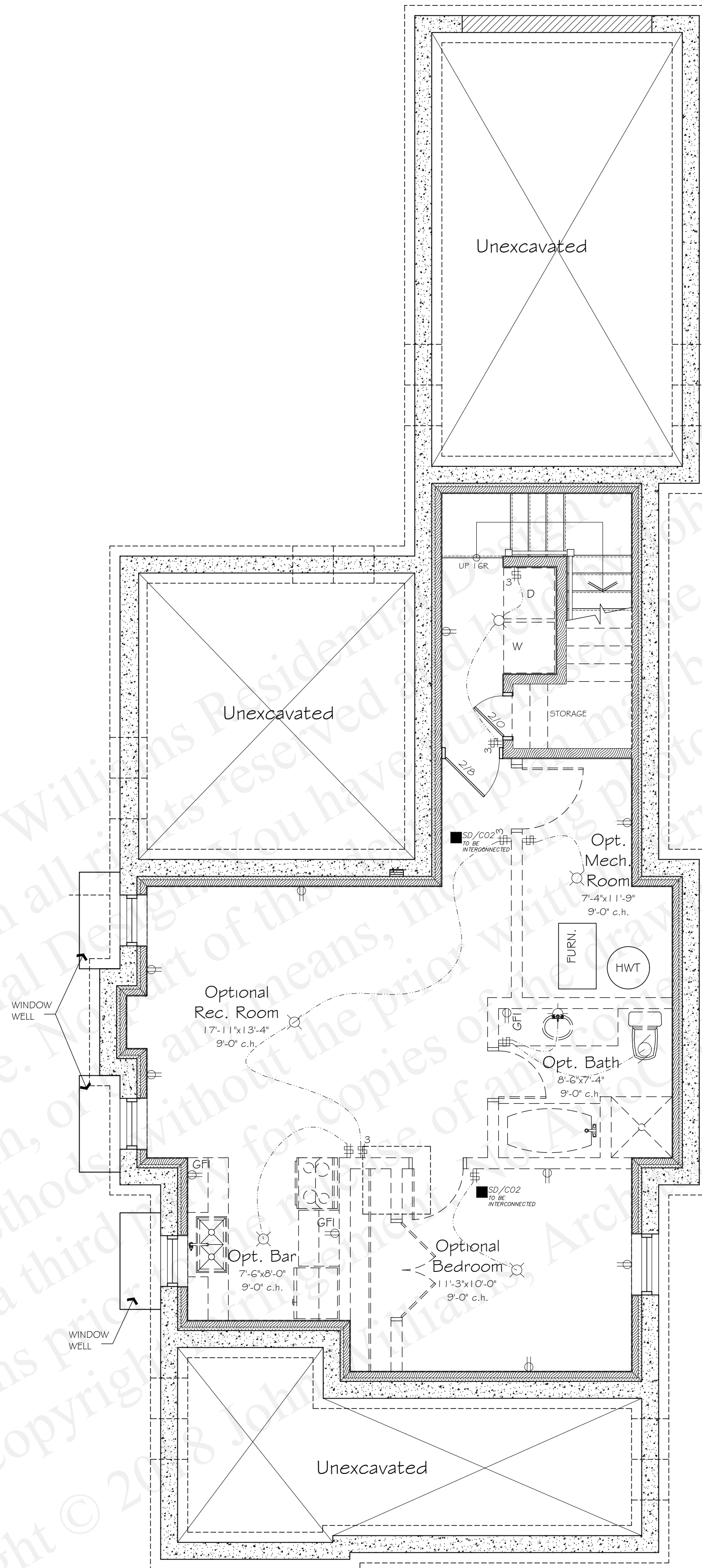
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Job Number CAMB
Sheet
A401
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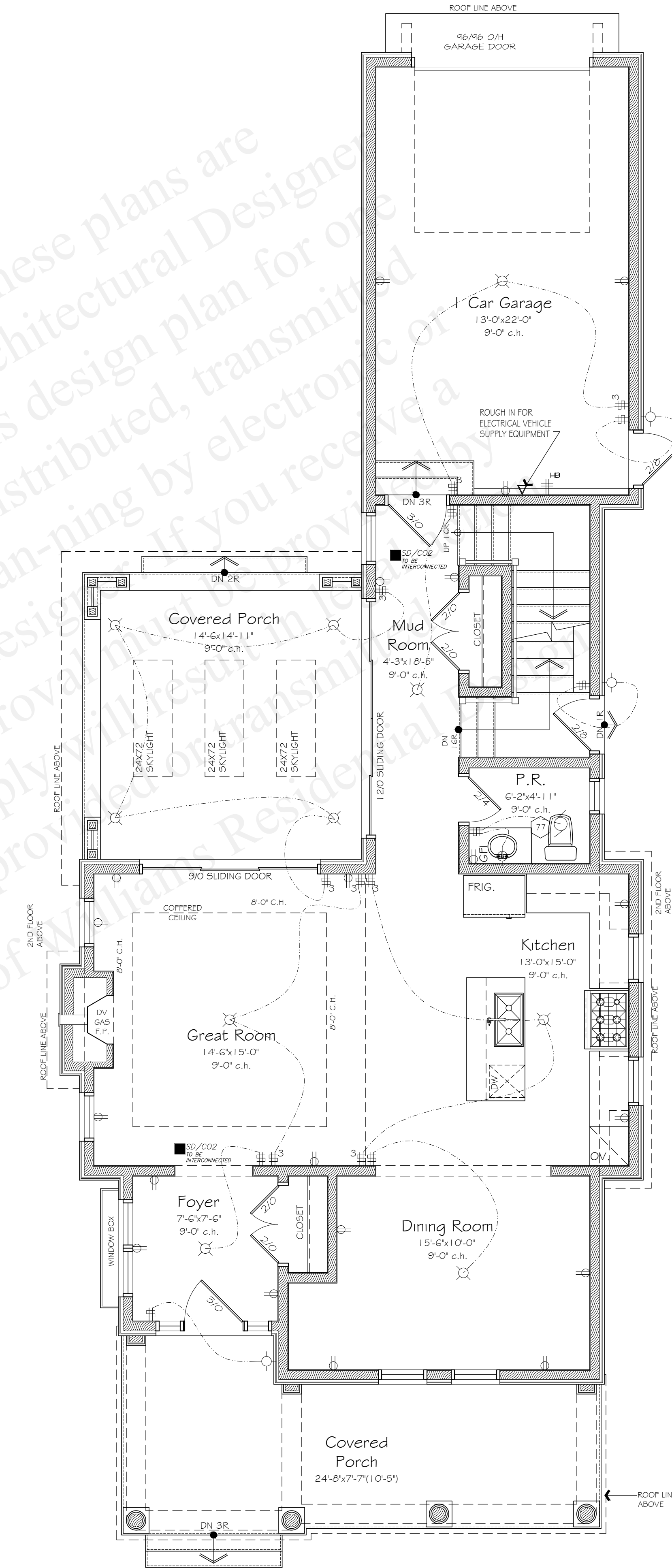
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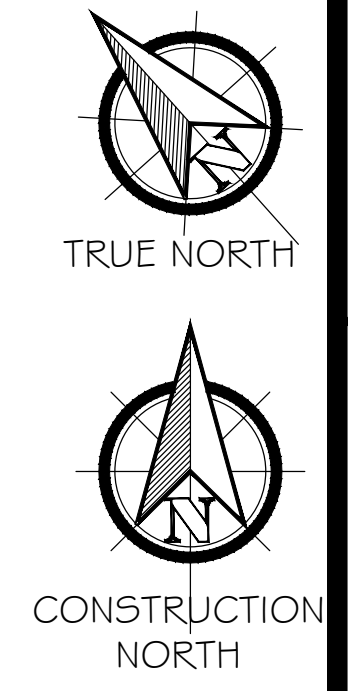
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1 ELEC - BASEMENT PLAN
 E101 1/4" = 1'-0"



2 ELEC - GROUND FLOOR PLAN
 E101 1/4" = 1'-0"



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 DESIGN COMPANY REG. NO. 3147
 INDIVIDUAL REG. NO. 2472

10.1.2019

Cameryn Lanes Building 'B'
 550 Burlington Ave.
 Burlington Ontario
 L7S 1R9

ELEC. - BSMNT & GROUND FL.

Scale: AS NOTED
 Date: Oct. 1, 19

Drawn By: CB
 Approved By: JW
 Job Number: CAM.B

Sheet: E101
 OF: 5

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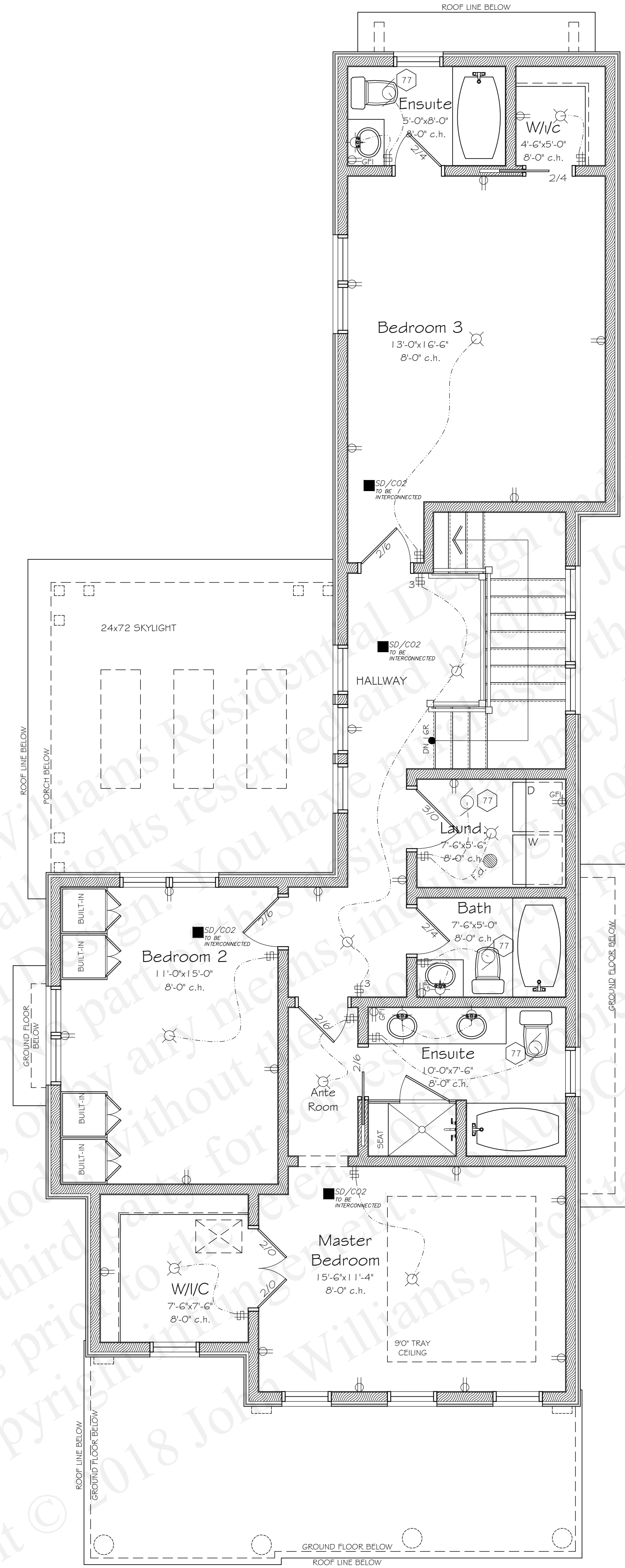
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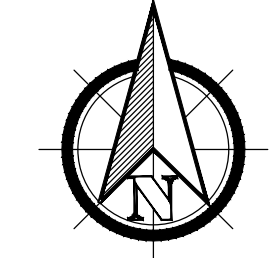
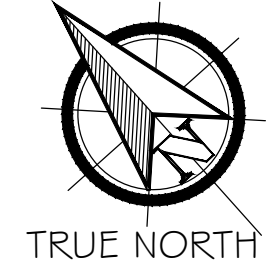
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1 ELEC. - 2ND FLOOR PLAN
E102 1/4" = 1'-0"



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Burlington, Ontario
L7S 1R9
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DESIGN COMPANY BCIN 31437
INDIVIDUAL BCIN 2472

10.1.2019

ELEC. 2ND FLOOR PLAN
Date Oct. 1, 19
Scale AS NOTED

Cameryn Lanes Building 'B'
550 Burlington Ave.
Burlington Ontario
L7S 1R9

Drawn By CB
Approved By JW
Job Number CAMB
Sheet E102
OF 5

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